

WILLIAM R. ALLEN SCHOOL
RESTORATION AND REHABILITATION PROJECT
ARCHITECTURAL DRAWINGS BY
CONNOLLY & HICKEY HISTORICAL ARCHITECTS, LLC
AUGUST 8, 2022

RESTORATION AND REHABILITATION

WILLIAM R. ALLEN SCHOOL

BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

PROJECT DATA

PROJECT: RESTORATION AND REHABILITATION OF THE WILLIAM R. ALLEN SCHOOL

ADDRESS: BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

BLOCK No.: 223 **LOT NO.:** 2

OWNERSHIP: CITY OF BURLINGTON
525 HIGH STREET,
BURLINGTON, NEW JERSEY 08016

AGENT OF THE OWNER: WILLIAM HARRIS, DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

HISTORIC BUILDING: THIS BUILDING IS LISTED ON THE NEW JERSEY AND THE NATIONAL REGISTERS OF HISTORIC PLACES. ALL WORK MUST COMPLY WITH THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES. (1995 REVISED)

USE GROUP: A3 - ASSEMBLY (REHABILITATION SUBCODE)

CONSTRUCTION TYPE: VB - NON-COMBUSTIBLE/COMBUSTIBLE(UNPROTECTED)

SCOPE OF WORK:
THE FOLLOWING IS A SUMMARY OF THE WORK TO BE COMPLETE. IT MAY NOT LIST OR MENTION ALL OF THE ACTUAL WORK ITEMS OF THIS PROJECT. SELECTIVE DEMOLITION OF HISTORIC FINISHES, MASONRY RESTORATION, WINDOW AND DOOR RESTORATION, WOOD FRAMING, PLASTER, AND FINISH CARPENTRY RESTORATION, STRUCTURAL REPAIR OF THE FLOOR FRAMING, SENSITIVE INSERTION OF NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEM INTO HISTORIC FABRIC, NEW CATERING KITCHEN AND OFFICE SPACE AND SURFACE PREPARATION AND PAINTING AT THE EXTERIOR AND INTERIOR FINISHES.

SITE DIAGRAM IS FURNISHED FOR INFORMATIONAL PURPOSES ONLY.

LIST OF DRAWINGS

COVER	PROJECT DATA, GENERAL NOTES, LIST OF DRAWINGS, BID ALTERNATES, REVISIONS, LOCATION MAP, PARTIAL SITE DIAGRAM
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AD2	FIRST FLOOR DEMOLITION PLAN, DEMOLITION/SALVAGE SCHEDULE
A1	BASEMENT FLOOR PLAN, FLOOR PLAN KEY
A2	FIRST FLOOR PLAN, FLOOR PLAN KEY
A3	ROOF PLAN
A4	NORTH ELEVATION, EAST ELEVATION, SEALANT JOINT, ELEVATION REPAIR KEY
A5	SOUTH ELEVATION, WEST ELEVATION, ELEVATION REPAIR KEY
A6	SPLITWOOD TRIM REPAIR DETAIL, EPOXY REPAIR DETAIL, WOOD DUTCHMAN DETAIL, PAINT SURFACE PREPARE DETAIL, REPOINT OF ERODED JOINT @ BRICK MASONRY, REPOINTING OF MODERATELY ERODED JOINT @ BRICK MASONRY, REPOINTING OF SEVERELY ERODED JOINT @ BRICK MASONRY, BRICK REPAIR INJECTION, EPOXY REPAIR DETAIL, BRICK MASONRY ALLOWANCES
A7	PLASTER ON LATH DETAIL, PLASTER CRACK REPAIR, PLASTER ON BRICK DETAIL, HANDRAIL DETAIL, INTERIOR REPAIR NOTES
A8	FIRST FLOOR REFLECTED CEILING PLAN, LIGHTING FIXTURE SCHEDULE, PLAN REPAIR KEY
A9	OPERABLE ACOUSTIC PARTITION SOFFIT DETAIL, OPERABLE ACOUSTIC PARTITION JAMB DETAIL, NEW STEEL LINTEL, EXTERIOR CONCRETE WALK DETAIL, HANDRAIL DETAIL
A10	ROOM 100 HALL - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A11	ROOM 101 COMMUNITY 1 - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A12	ROOM 102 COMMUNITY 2 - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A13	ROOM 103 COMMUNITY 3 - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A14	ROOM 104 COMMUNITY 4 - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A15	ROOM 105 COMMUNITY 5 - INTERIOR ELEVATIONS, ROOM 109 VESTIBULE - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A16	RECEPTION, OFFICE AND KITCHEN - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A17	001 ENTRANCE - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A18	002 VESTIBULE - INTERIOR ELEVATIONS, INTERIOR REPAIR KEY
A19	KITCHEN PLAN, KITCHEN ELEVATION, PLUMBING FIXTURE AND APPLIANCE SCHEDULE
A20	KITCHEN PLAN (BID ALTERNATE), PLUMBING FIXTURE AND APPLIANCE SCHEDULE
A21	ACCESSIBLE MEN'S RESTROOM PLAN, ACCESSIBLE MEN'S RESTROOM ELEVATION, HEAD RAIL AND SHOE DETAIL, BARRIER-FREE THRESHOLD DETAIL, TOILET PARTITION DETAILS, TYPICAL GRAB BAR DETAIL, LAVATORY CLEARANCE DETAIL, RESTROOM SCHEDULE
A22	ACCESSIBLE WOMEN'S RESTROOM PLAN, ACCESSIBLE WOMEN'S RESTROOM ELEVATION, BARRIER-FREE RESTROOM CLEARANCE DETAIL, RESTROOM SCHEDULE
A23	DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, HEAD/SIDE JAMB DETAIL, DOOR BRICK DETAIL
A24	DOOR TYPES
A25	WINDOW REPAIR SCHEDULE, WINDOW SILL REPAIR DETAIL, EXTERIOR STORM WINDOW DETAILS
A26	WINDOW SCHEDULE
A27	WINDOW TYPES
A28	FINISH SCHEDULE
A29	SIGNAGE SCHEDULE, ROOM SIGN TYPE, TYPICAL MOUNTING HEIGHTS, ROOM SIGN PLACEMENT REQUIREMENT

BID ALTERNATES

No.	DESCRIPTION

REVISIONS

No.	DATE	REMARKS

GENERAL NOTES

THESE DRAWINGS AS INSTRUMENTS OF SERVICE, ARE AND SHALL REMAIN THE SOLE PROPERTY OF THE ARCHITECT. THEY ARE INTENDED ONLY FOR USE BY THIS OWNER AND ONLY ON THIS COMMISSIONED PROJECT. ANY UNAUTHORIZED USE, REPRODUCTION OR COPY OF ANY PART OF THESE DRAWINGS WITHOUT THE APPROVAL OF THE ARCHITECT IS PROHIBITED.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL INSPECT THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNSATISFACTORY CONDITIONS. SUBCONTRACTOR LIABLE FOR FAULTY WORKMANSHIP.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE THE DRAWINGS. ALL FIELD VERIFIED DIMENSIONS SHALL GOVERN THE WORK.

ALL CONTRACTORS AND SUBCONTRACTORS, PRIOR TO COMMENCING THE WORK, SHALL FURNISH TO THE OWNER CERTIFICATES OF INSURANCE. ALL WORK SHALL BE FULLY BONDED AND WARRANTIES PROVIDED. ALL MATERIAL AND LABOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT BY THE OWNER.

ALL CONTRACTORS AND SUBCONTRACTORS, PRIOR TO COMMENCING THE WORK, SHALL OBTAIN ALL REQUIRED PERMITS FROM THE GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK. PURSUANT TO THE STATE UNIFORM CONSTRUCTION ACT, THE OWNER IS A TAX EXEMPT ORGANIZATION, AND MAY NOT BE CHARGED ANY LOCAL, STATE, OR FEDERAL TAXES.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL PROVIDE ALL PROTECTION MEASURES FOR THE SAFETY OF THE PUBLIC AND THE WORKMAN FOR THE ENTIRE DURATION OF THE PROJECT.

ALL WORK SHALL BE PERFORMED IN THE BEST WORKMANLIKE MANNER.

EACH CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, CARTING AND DISPOSAL OF ALL DEBRIS FROM THE SITE. LEAVE THE PREMISES CLEAN, NEAT AND ORDERLY UPON ENDING EACH DAY'S WORK AND UPON FINAL COMPLETION OF THE WORK. PROVIDE THE OWNER WITH A CERTIFIED STATEMENT THAT ALL MATERIALS HAVE BEEN PROPERLY DISPOSED OF AND ALL PERTINENT LAWS AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK HAVE BEEN FULLY COMPLIED WITH. ALL WORK SHALL BE PERFORMED TO ALL STATE AND LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

UNIFORM CONSTRUCTION CODE (UCC), THE STATE OF NEW JERSEY, AS UPDATED AND INCLUDING:

- N.J.A.C. 5:23-4 REHABILITATION SUBCODE
- INTERNATIONAL BUILDING CODE (IBC) 2018, NJ ed.
- NJAC 5:23-7 BARRIER-FREE SUBCODE AND ICC/ANSI A117.1-2009 (CHAPTER 11 OF IBC/2015 & NJAC 5:23-7)
- NATIONAL ELECTRICAL CODE (NFPA 70/2017) (NJAC 5:23-3.16)
- NATIONAL STANDARD PLUMBING CODE (NSPC) (NJAC 5:23-3.15)
- INTERNATIONAL MECHANICAL CODE (IMC) (NJAC 5:23-3.20)
- INTERNATIONAL FUEL GAS CODE (IFGC) (NJAC 5:23-3.22)

ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES. THE SOLE INTERPRETER OF THESE STANDARDS AS THEY RELATE TO THIS PROJECT SHALL BE THE ARCHITECT. OBTAIN THE OPINION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY ASPECT OF THE WORK WHICH MAY EFFECT COMPLIANCE WITH THESE STANDARDS.

ALL SUBCONTRACTORS SHALL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIAL AND SUPERVISION FOR ITS PORTION OF THE WORK.

ALL SUBCONTRACTORS' FEES SHALL INCLUDE SUPERVISION OF THE SUBCONTRACTOR'S EMPLOYEES.

THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE.

THE CONTRACTOR ASSUMES ALL RISKS IN THE PERFORMANCE OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION AND ALL PHASES OF ITS CONTRACT.

THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING, COORDINATION, MANAGEMENT AND ADMINISTRATION OF SUBCONTRACTS.

THE CONTRACTOR SHALL MEET THE LATEST REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND COMPLY WITH THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, ALL APPLICABLE SAFETY AND SANITARY LAWS, REGULATIONS AND ORDINANCES, AND ANY SAFETY RULES OR PROCEDURES ESTABLISHED BY THE OWNER OF THE PROJECT OR ANY GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.

THE CONTRACTOR SHALL PROTECT ALL PERSONS NEAR OR ON THE PREMISES FROM UNREASONABLE RISKS OF INJURY.

THE CONTRACTOR OR SUBCONTRACTORS SHALL NOT LIMIT ACCESS OR EGRESS TO AND FROM THE BUILDING FOR THE DURATION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE WARNING SIGNS AND LIGHTS, BARRICADES, RAILINGS AND OTHER SAFEGUARDS.

IN ADDITION TO NAMING THE OWNER AS ADDITIONALLY INSURED, THE CONTRACTOR SHALL ALSO NAME THE ARCHITECT AS ADDITIONALLY INSURED FOR THIS PROJECT.

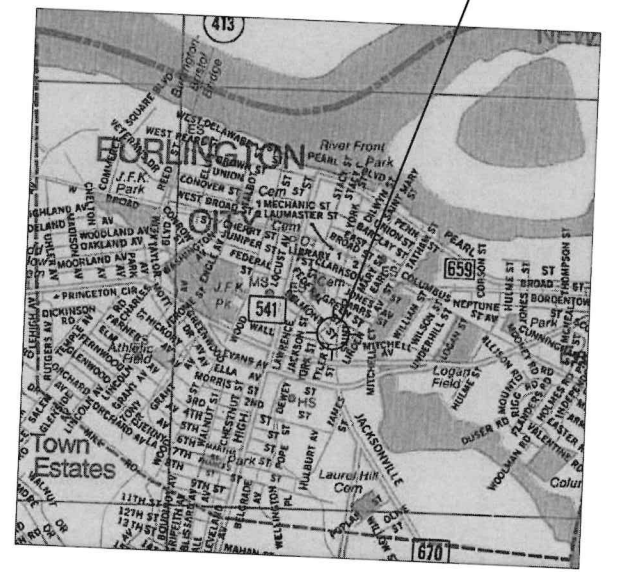
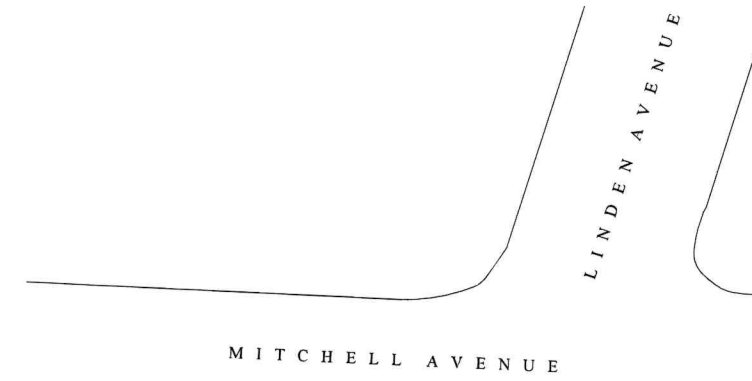
THE ARCHITECT'S OBSERVATION FOR COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS SHALL NOT BE DEEMED AS SUPERVISION OR CONTROL OF CONSTRUCTION MEANS OR METHODS EMPLOYED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS.

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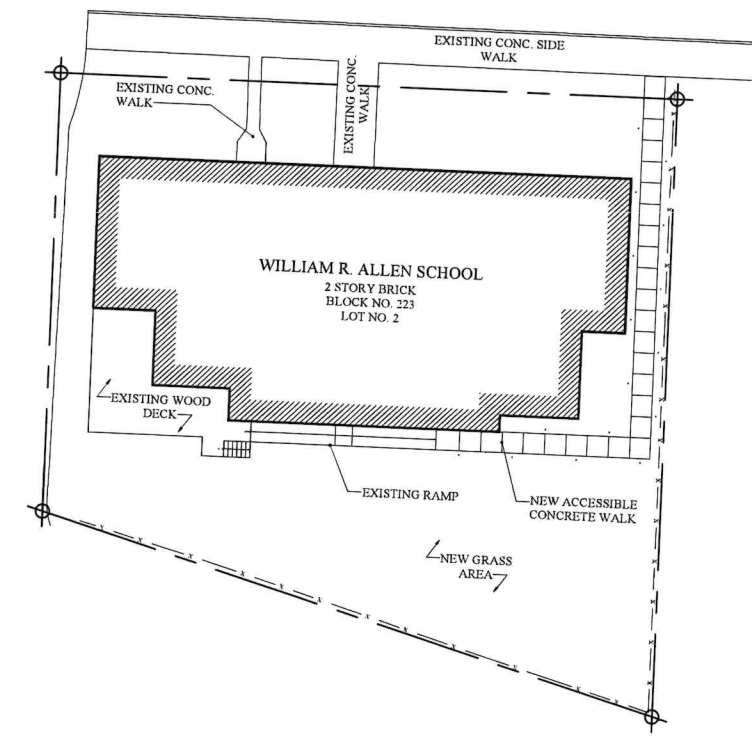
THOMAS B. CONNOLLY, AIA
NJ 21A101699200
PA R4403776
MARGARET M. HICKEY, AIA
NJ 21A101824500

PROJECT No.: 2016C
DATE: 08 AUGUST 2022
REVISIONS:

DRAWN BY: MS, TJ, CR, PK



1 LOCATION MAP
NOTE: THIS MAP COURTESY OF HAUGSTROM COMPANY, INC. MASPETH, NY



2 PARTIAL SITE DIAGRAM
1" = 20'

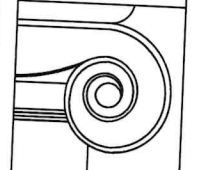
RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

COVER

DEMOLITION / SALVAGE SCHEDULE

1	REMOVE ALL DEBRIS	9	CLEAN SCRAPE AND SAND EXISTING WALL FINISHES TO SMOOTH SURFACE
2	REMOVE PORTION OF EXISTING PARTITION AND ALL ASSOCIATED FINISHES AND FRAMING TO PREPARE FOR NEW OPENING	10	REMOVE EXISTING EXTERIOR WINDOW INSECT SCREENS
3	REMOVE EXISTING PLUMBING FIXTURES AND PIPING - NO SALVAGE SEE MEP DEMOLITION DRAWINGS	11	REMOVE EXISTING CONCRETE PAD IN ITS ENTIRETY
4	REMOVE EXISTING FINISHES	12	REMOVE EXISTING CABINETS AND FRAMING IN ITS ENTIRETY, NO SALVAGE
5	REMOVE EXISTING FLOORING AND PREP SUBFLOOR FOR NEW FLOORING	13	REMOVE EXISTING CHALKBOARD TRIM AND SILL, SALVAGE FOR USE IN NEW LOCATION, SEE INTERIOR ELEVATIONS
6	REMOVE ALL RADIATORS AND ASSOCIATED PIPING, SEE MEP DEMOLITION DRAWINGS	14	REMOVE ANY DISPLACED INTERIOR WINDOWS, SALVAGE
7	REMOVE EXISTING HANDRAIL AND ATTACHMENTS	15	REMOVE EXISTING LOUVER AND FRAME
8	SALVAGE EXISTING PENDANT MOUNT LIGHT FIXTURE FOR RE-INSTALLATION	15	DEMOLISH PORTION OF CONCRETE SLAB TO PREPARE FOR NEW WORK, REFER TO STRUCTURAL DRAWINGS

NOTES:
 1. REMOVE ALL EXISTING RECEPTACLES AND INSTALL NEW PER THE ELECTRICAL PLANS.
 2. PATCH IN-KIND NEW FINISHES TO MATCH EXISTING WHERE LIGHTING, RECEPTACLES AND OTHER EQUIPMENT IS TO BE REMOVED AND/OR RELOCATED. ALL PATCHING IS PART OF THE BASE CONTRACT.
 3. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL REMOVAL OF FINISHES / REFINISHING.



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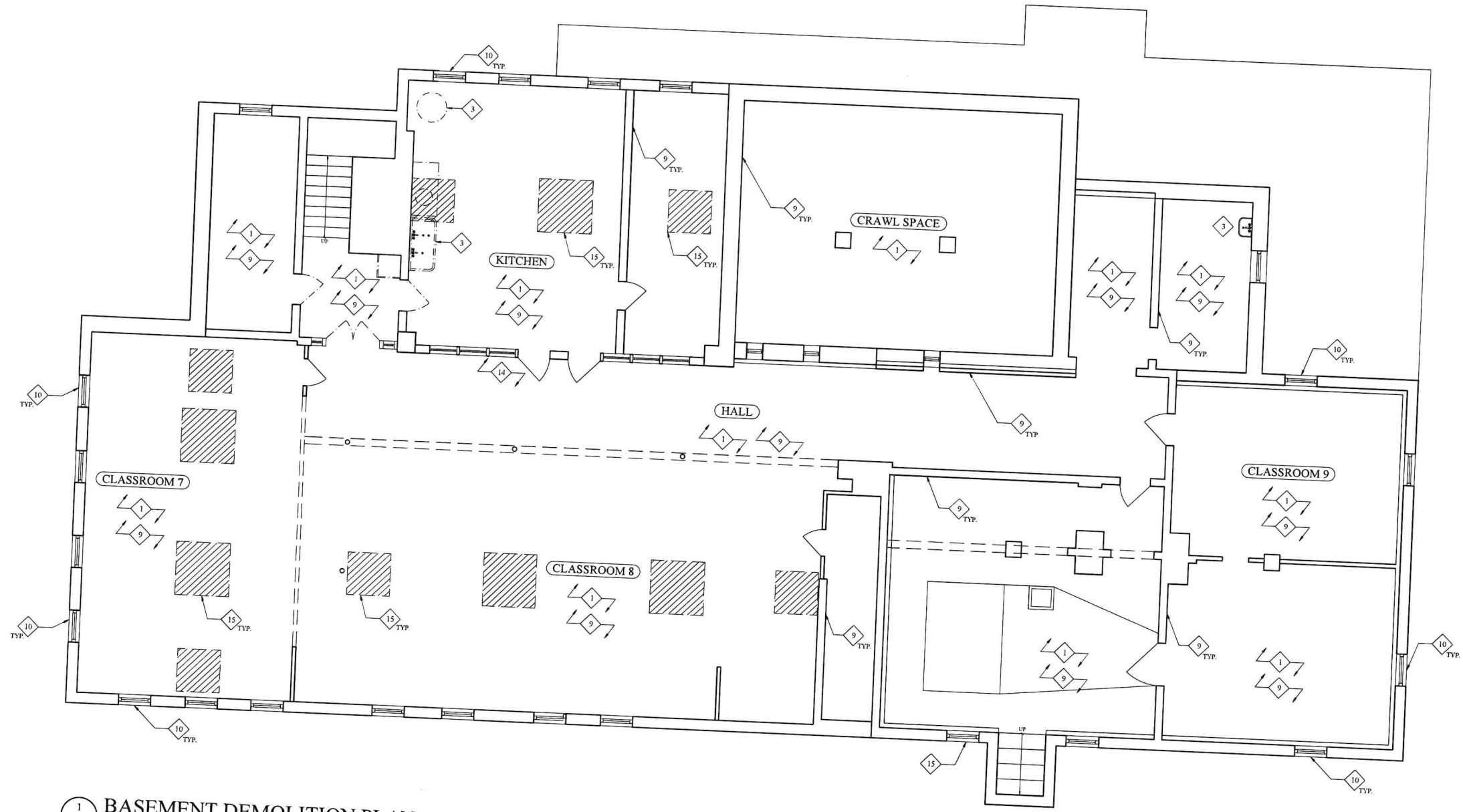
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RESTORATION AND REHABILITATION
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AD1

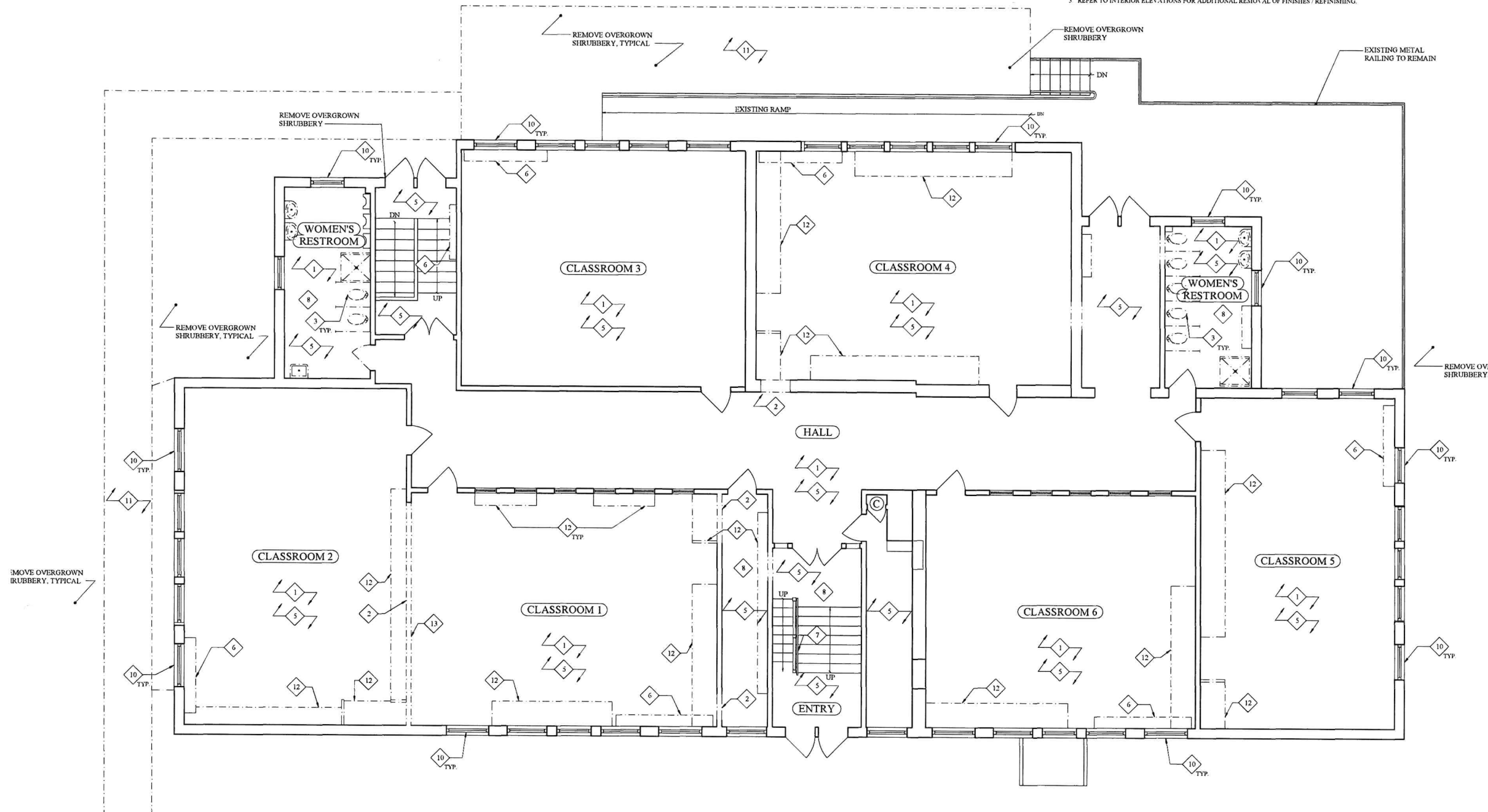


1
 AD1 3/16" = 1' 0"

DEMOLITION / SALVAGE SCHEDULE

1	REMOVE ALL DEBRIS	9	CLEAN SCRAPE AND SAND EXISTING WALL FINISHES TO SMOOTH SURFACE
2	REMOVE PORTION OF EXISTING PARTITION AND ALL ASSOCIATED FINISHES AND FRAMING TO PREPARE FOR NEW OPENING	10	REMOVE EXISTING EXTERIOR WINDOW INSECT SCREENS
3	REMOVE EXISTING PLUMBING FIXTURES AND PIPING - NO SALVAGE. SEE MEP DEMOLITION DRAWINGS	11	REMOVE EXISTING CONCRETE PAD IN ITS ENTIRETY
4	REMOVE EXISTING FINISHES	12	REMOVE EXISTING CABINETS AND FRAMING IN ITS ENTIRETY. NO SALVAGE
5	REMOVE EXISTING FLOORING AND PREP SUBFLOOR FOR NEW FLOORING	13	REMOVE EXISTING CHALKBOARD TRIM AND SILL, SALVAGE FOR USE IN NEW LOCATION. SEE INTERIOR ELEVATIONS
6	REMOVE ALL RADIATORS AND ASSOCIATED PIPING. SEE MEP DEMOLITION DRAWINGS	14	REMOVE ANY DISPLACED INTERIOR WINDOWS, SALVAGE
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1 FIRST FLOOR DEMOLITION PLAN
 AD2 3/16" = 1' - 0"

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RESTORATION AND REHABILITATION
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AD2

FLOOR PLAN KEY	
	EXISTING PARTITIONS (MASONRY, TYPICAL)
	EXISTING WALL PARTITIONS TO BE REMOVED
	NEW PARTITION - SEE

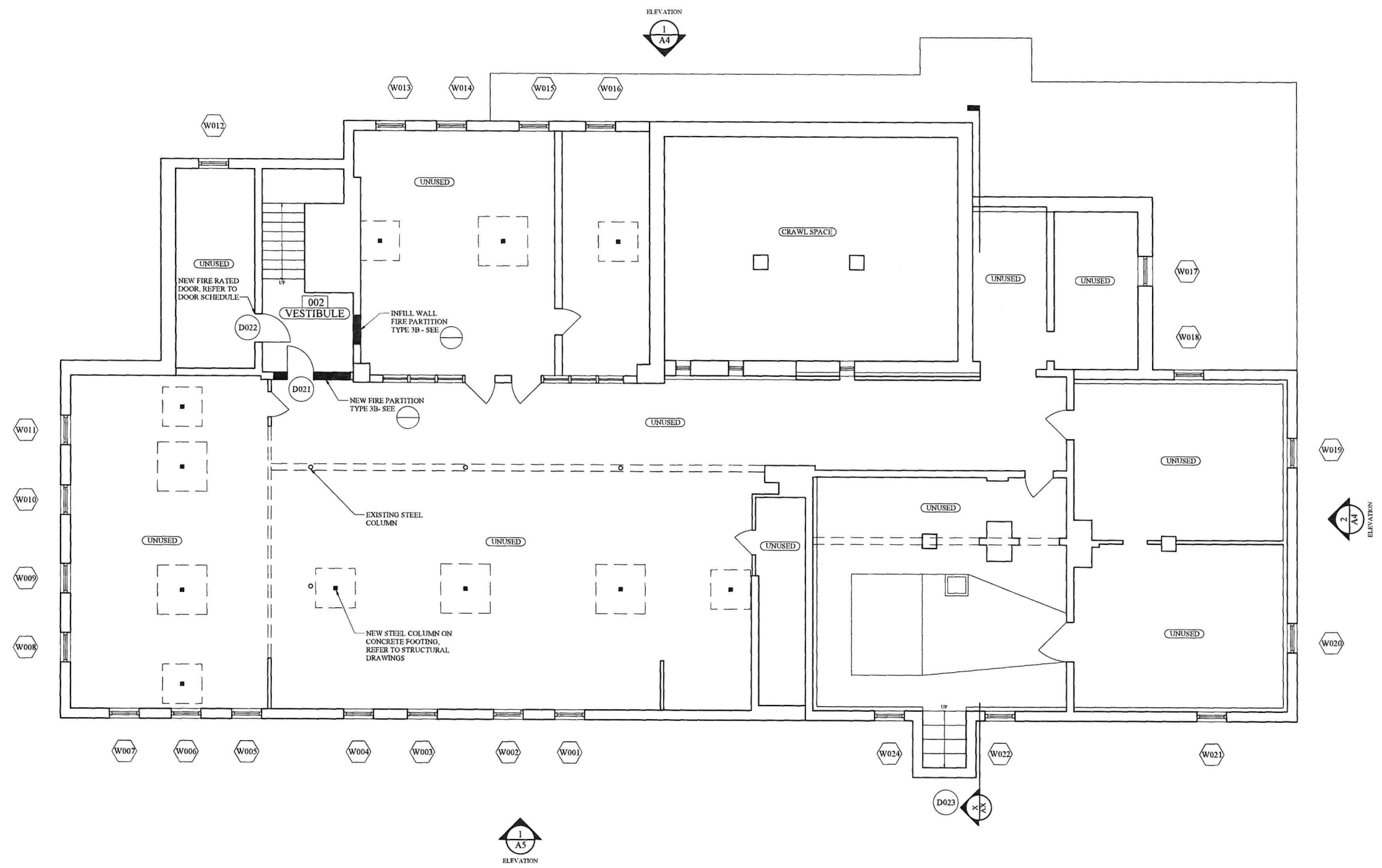
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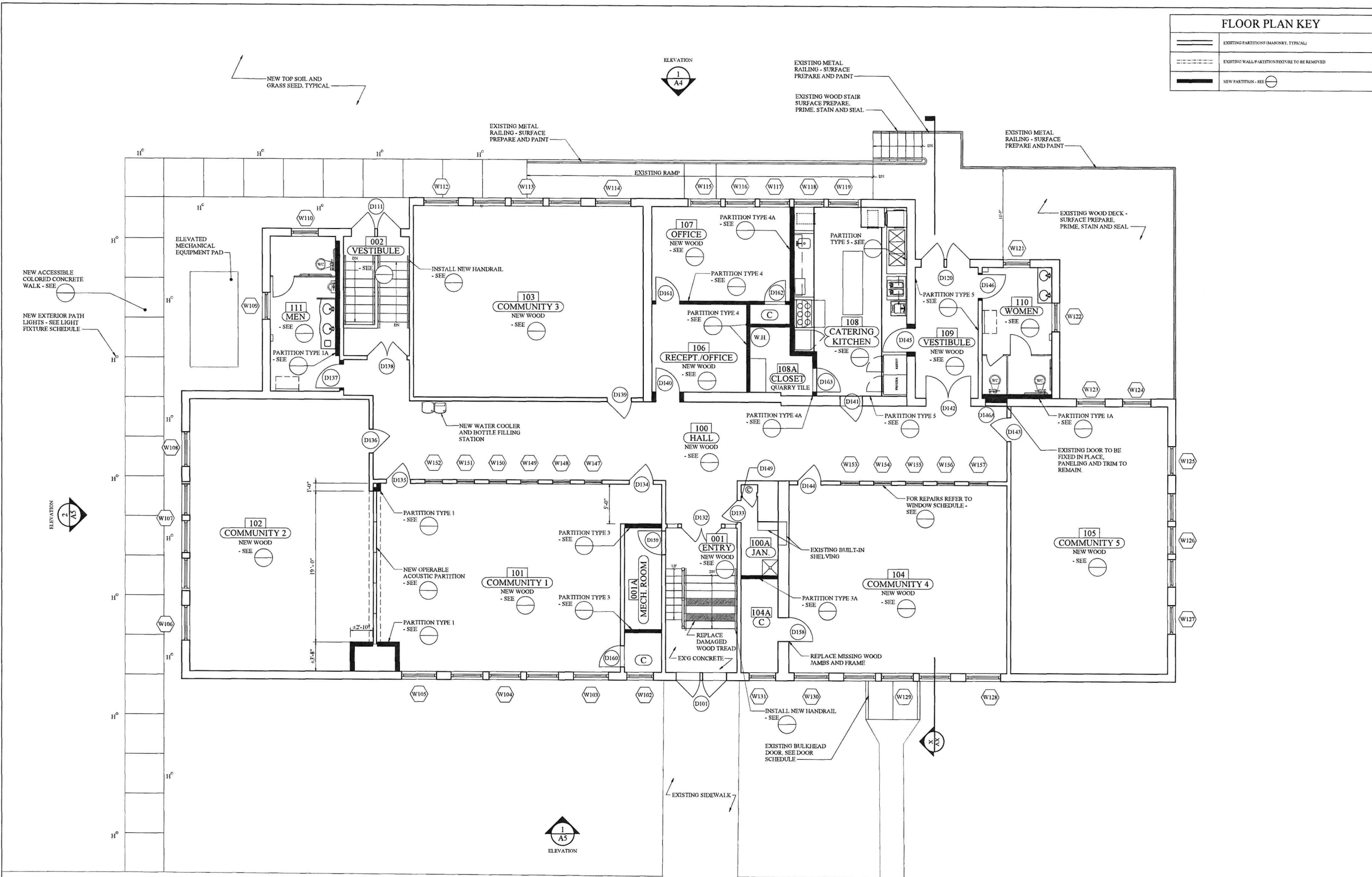
RESTORATION AND REHABILITATION
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 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A1



JOB NORTH
 1 A1
BASEMENT FLOOR PLAN
 3/16" = 1' - 0"

FLOOR PLAN KEY	
	EXISTING PARTITIONS (MASONRY, TYPICAL)
	EXISTING WALL/PARTITION FEATURE TO BE REMOVED
	NEW PARTITION - SEE



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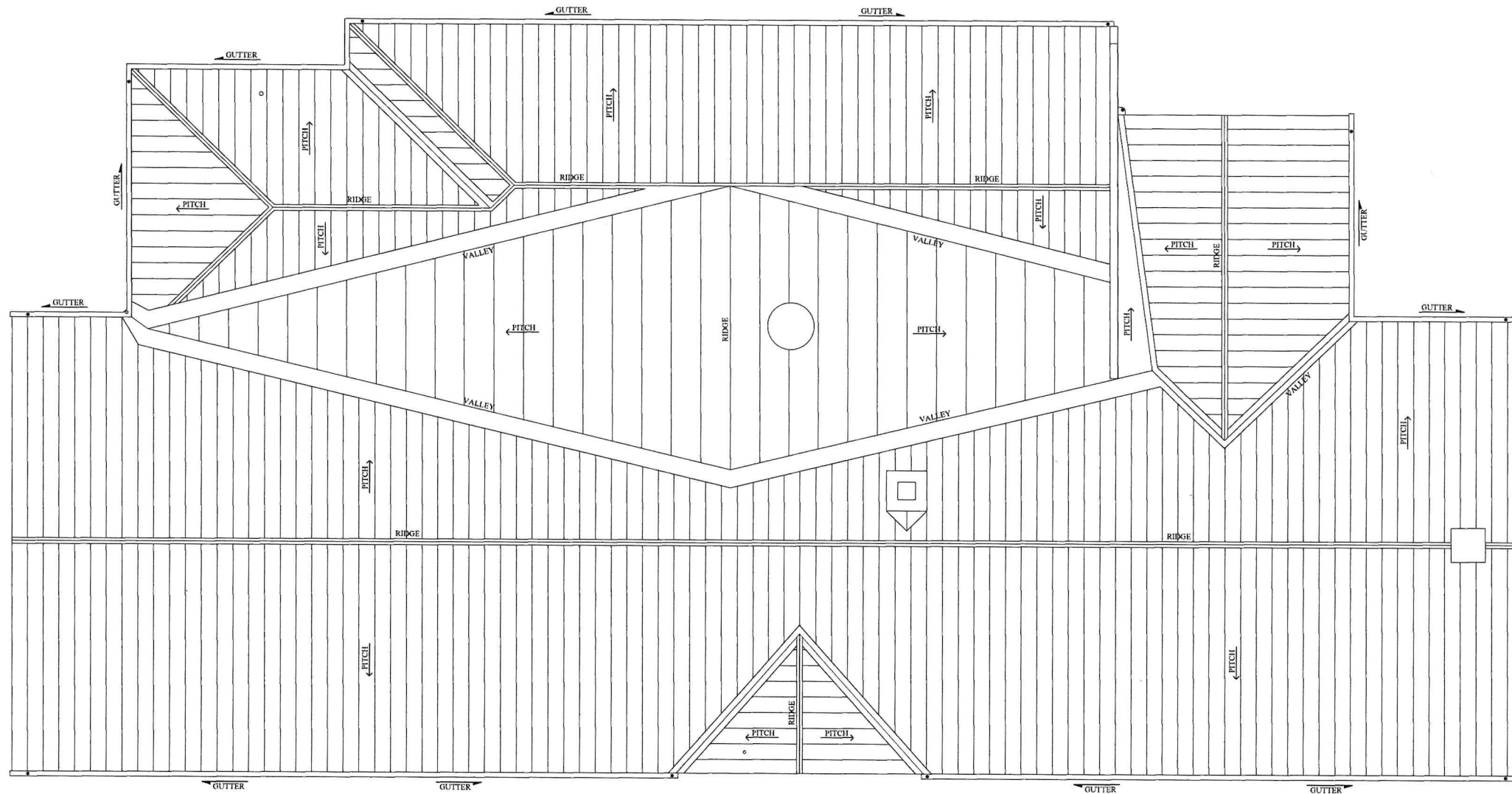
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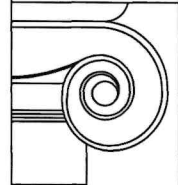
JOB NORTH
 1 A2 3/16" = 1' - 0"
FIRST FLOOR PLAN

A2



JOB
 NORTH
 1
 A3
 3/16" = 1' - 0"

ROOF PLAN



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A3

ELEVATION REPAIR KEY	
	REPLACE DETERIORATED WOOD ELEMENTS IN-KIND - SEE DRAWINGS FOR ALLOWANCES
	DUTCHMAN EPOXY REPAIR DETERIORATED FINISH CARPENTRY COMPONENTS (SOFFIT BOARDS, TRIM, MIMICKS, SIDING, CORNICE, ELEMENTS, COLUMN COMPONENTS ETC.) IN-KIND
	REPLACEMENT OF DETERIORATED AND CRACKED BRICKS - NEW BRICK SHALL MATCH EXISTING IN COLOR, DENSITY, SIZE, MEASURE, ABSORPTION AND OTHER RELATED ATTRIBUTES
	REPORT AREA OF REPAIR WITH REPLICATION MORTAR
	REPAIR SPLITS IN WOOD COMPONENTS (TRIM, SOFFITS, FASCIAS), AND CRACKS IN MASONRY

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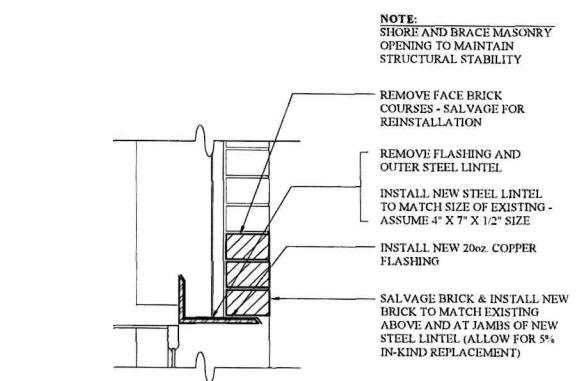
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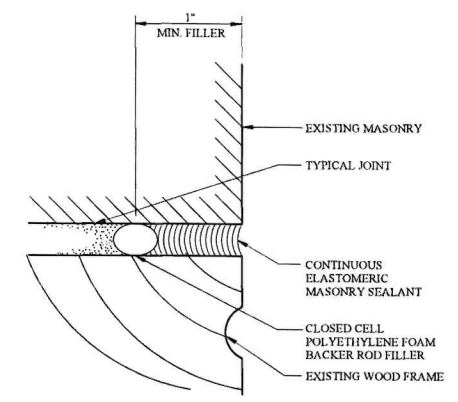
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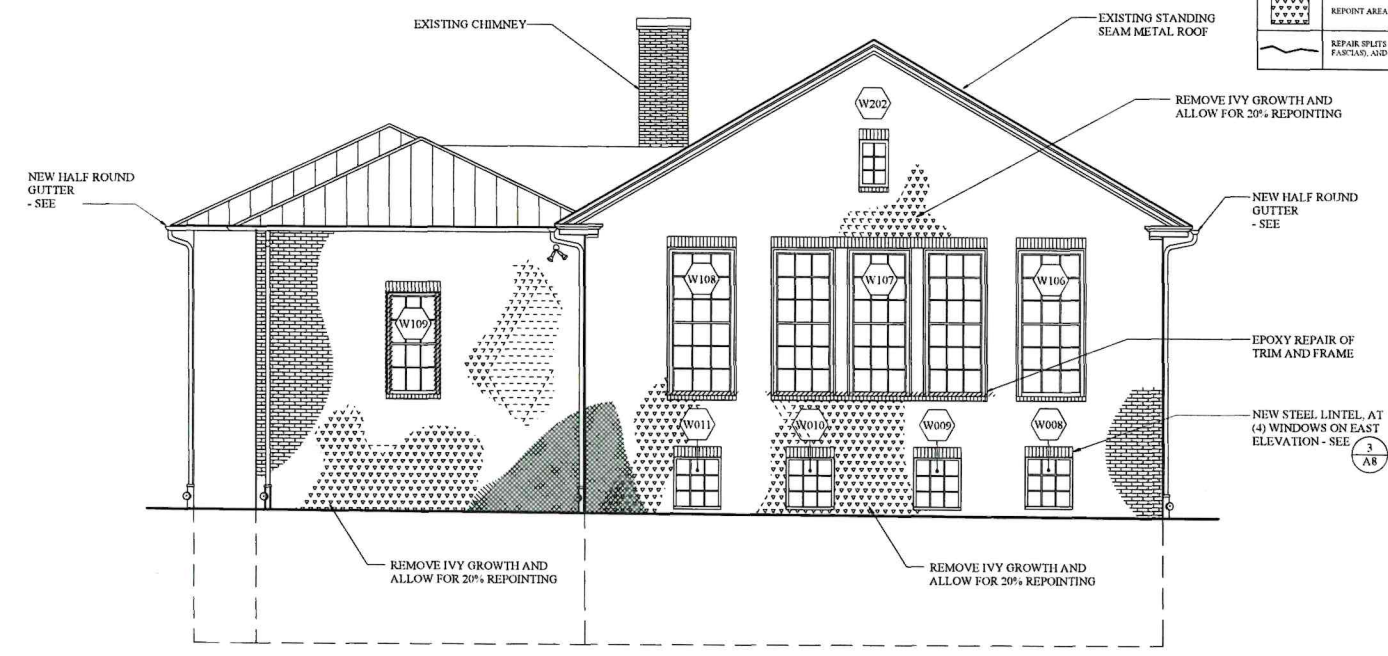
A4



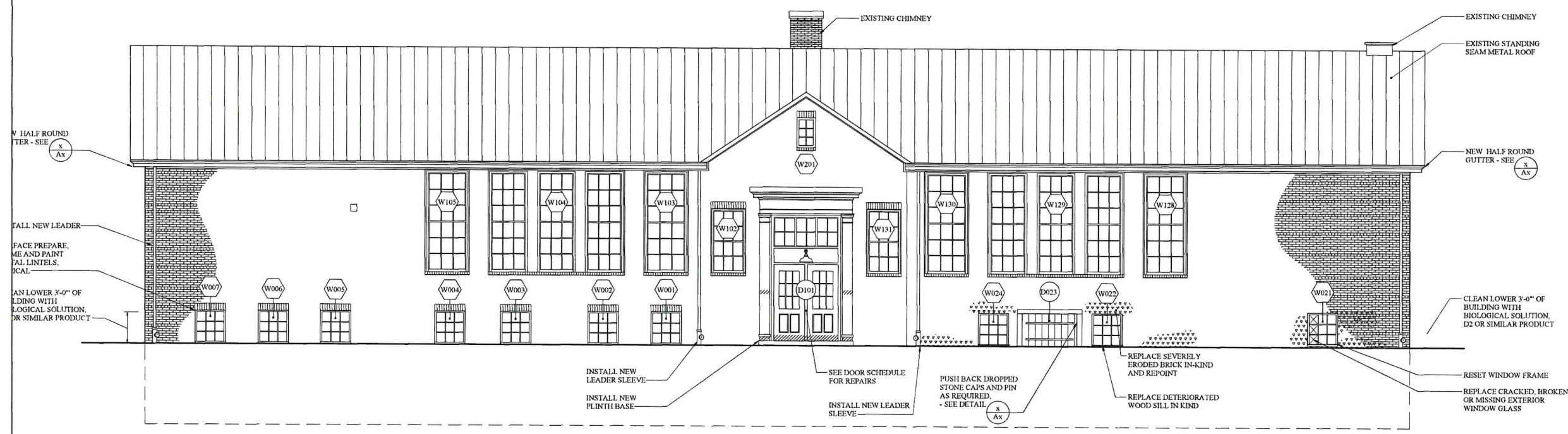
3 STEEL LINTEL
 A4 N. T. S.



4 SEALANT JOINT
 A4 N. T. S.

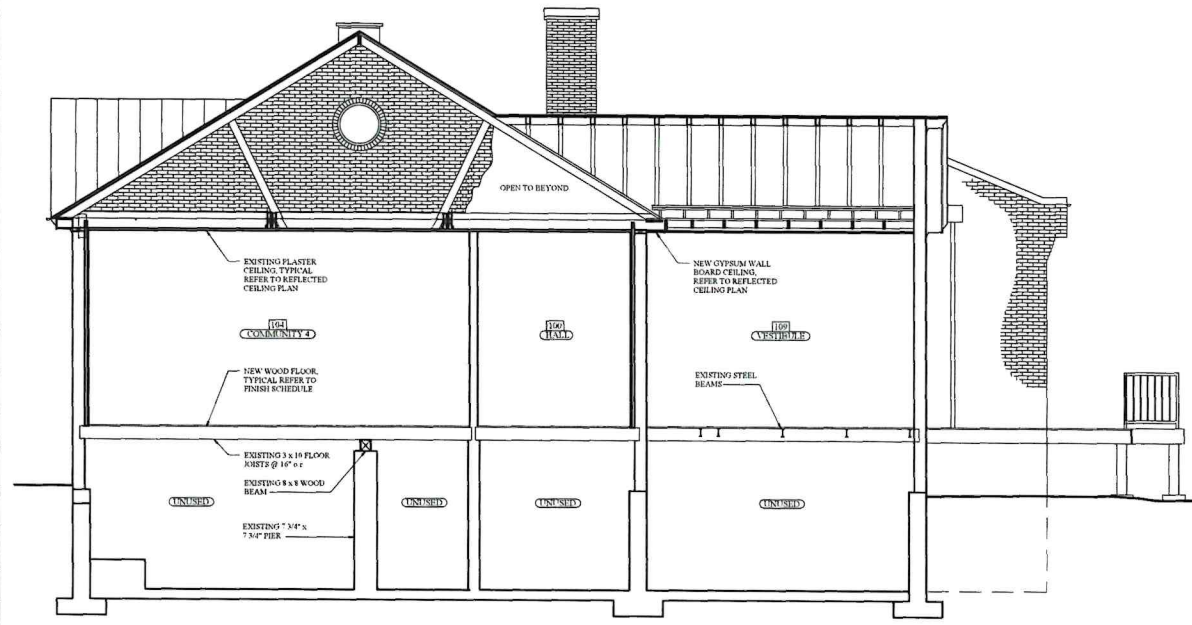


2 EAST ELEVATION
 A4 3/16" = 1' - 0"

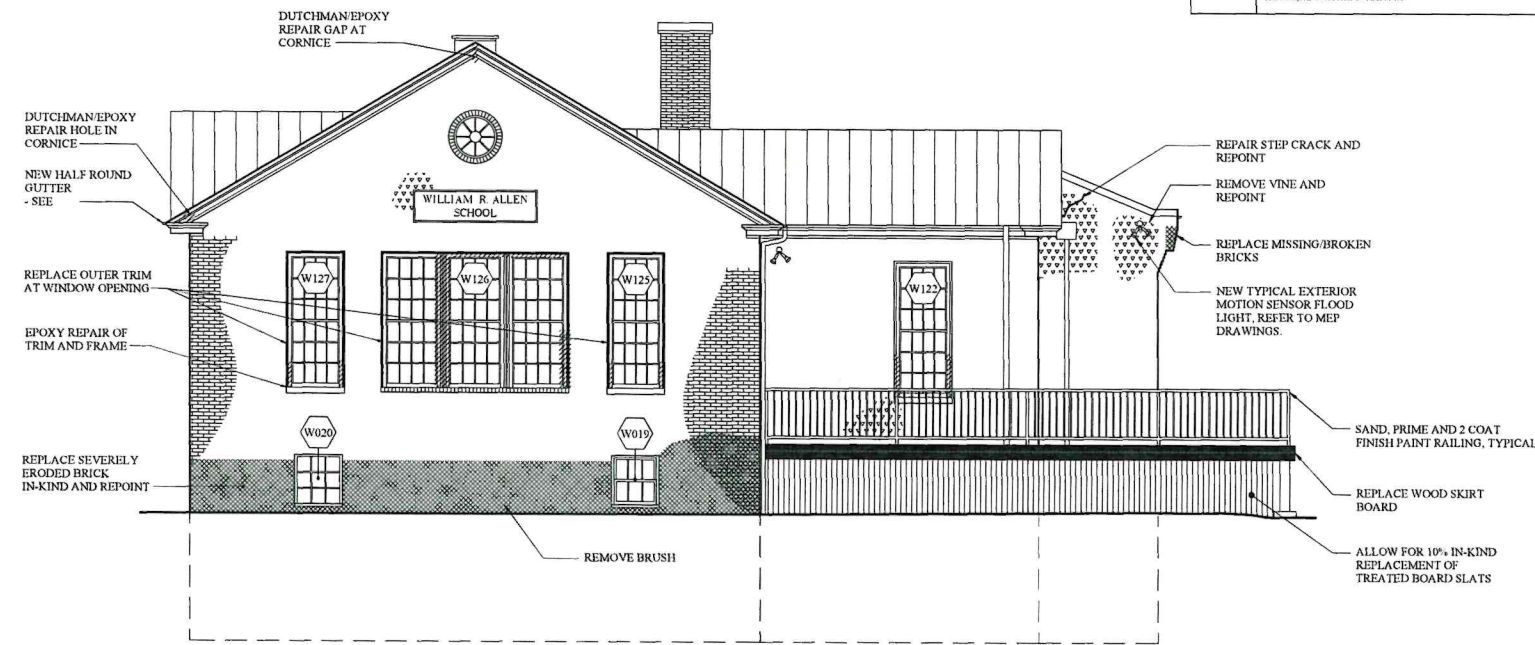


1 NORTH ELEVATION
 A4 3/16" = 1' - 0"

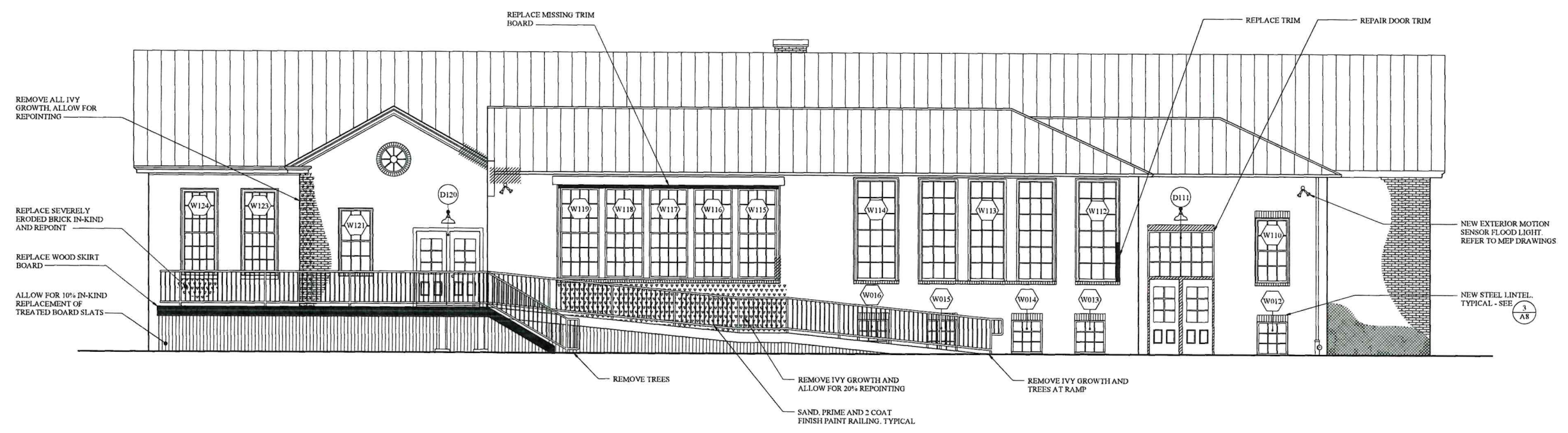
ELEVATION REPAIR KEY	
	REPLACE DETERIORATED WOOD ELEMENTS IN-KIND - SEE DRAWINGS FOR ALLOWANCES
	DUTCHMAN/EPOXY REPAIR DETERIORATED FINISH CARPENTRY COMPONENTS (SOFIT BOARDS, TRIM, BELLIES, SIDING, CORNICE, ELEMENTS, COLUMN COMPONENTS ETC.) IN-KIND
	REPLACEMENT OF DETERIORATED AND CRACKED BRICKS. NEW BRICK SHALL MATCH EXISTING IN COLOR, DENSITY, SIZE, MOISTURE ABSORPTION AND OTHER RELATED ATTRIBUTES.
	REPORT AREA OF REPAIR WITH REPLICATION MORTAR
	REPAIR SPLITS IN WOOD COMPONENTS (TRIM, SOFFITS, FASCIA), AND CRACKS IN MASONRY



3 BUILDING SECTION
 A5 3/16" = 1' - 0"



2 WEST ELEVATION
 A5 3/16" = 1' - 0"



1 SOUTH ELEVATION
 A5 3/16" = 1' - 0"

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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
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A5

MASONRY REPAIR NOTES

- GENERAL MASONRY NOTES**
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS.
 - REMOVE ALL ANCHORS, NAILS, ANCHORS, STRAPS, WIRES, CLIPS, FASTENERS OR OTHER ATTACHMENTS FROM ALL MASONRY AND MORTAR JOINTS. FILL HOLES IN MASONRY WITH APPROVED COMPOSITE PATCHING MORTAR AND HOLES IN MORTAR JOINTS WITH APPROVED MORTAR.
 - RAKE MORTAR JOINTS WHERE POINTING IS NOTED ON THE DRAWINGS TO A DEPTH OF 1" OR TO SOUND MATERIAL, WHICH MAY BE AS MUCH AS 2 INCHES IN SOME LOCATIONS. ADDITIONAL DEPTH WILL NOT BE CONSIDERED A CHANGE IN CONTRACT.
 - REMOVE EXISTING AND INSTALL NEW SEALANT BETWEEN WOOD FRAME AND BRICK/STONE AT ALL MASONRY OPENINGS.
 - PROVIDE BRICK SAMPLES FOR APPROVAL PRIOR TO ORDERING BRICK.
 - PROVIDE MOCK-UPS FOR MASONRY REPAIRS (COMPOSITE PATCHES, DUTCHMAN, AND REPOINTING ETC.) AS FOLLOWS:
 - COMPOSITE PATCH AT BRICK: 6 SQUARE INCHES
 - DUTCHMAN REPAIR: ONE-THIRD OF A WHOLE BRICK UNIT
 - REPOINTING: 6 SQUARE FEET ADJACENT TO A CLEANED AREA OF BRICK/MORTAR
 - ALLOW FOR AT LEAST (5) MOCK-UPS PER TYPE OF REPAIR TO ACHIEVE FINAL APPROVAL BY NCA HISTORIC ARCHITECT.
 - APPROVED MOCK-UP MAY BECOME PART OF FINISH WORK. IF CHOSEN NOT TO, MOCK-UP MUST REMAIN IN PLACE UNTIL ALL REPAIR WORK IS COMPLETE.
- SPECIFIC STONE MASONRY NOTES**
- FIELDSTONE WORK LIMITED TO REPOINTING WITH REPLACEMENT MORTAR.
 - BROWNSTONE WORK INCLUDES PAINT REMOVAL (SEE NOTES) AND REPOINTING WITH REPLACEMENT MORTAR.
- SPECIFIC BRICK MASONRY REPAIR NOTES**
- REMOVE ALL SEVERELY BROKEN, ERODED, MISSING, OR CRACKED BRICK AS NOTED. INSTALL NEW BRICK UNIT AS INDICATED TO MATCH EXISTING UNIT, WHERE APPLICABLE.
 - CLEAN ALL MASONRY OF ALL GENERAL SOILING AS PER TECHNICAL SPECIFICATIONS. NOTIFY NCA HISTORIC ARCHITECT TO ASSESS CONDITIONS.
 - REPLACE PATCHED OR SPALLED BRICK WITH CONDITIONS GREATER THAN OR EQUAL TO ONE-QUARTER OF ITS SURFACE AREA USING APPROVED BRICK THAT MATCHES THE EXISTING IN PROFILE, COLOR AND TEXTURE.
 - AT AREAS OF STEP CRACKS / CRACKS IN BRICK, INJECT SPECIFIED COMPOSITE GROUT MORTAR INTO SMALL CRACKS (LESS THAN 3/16 INCH). COAT SURFACE WITH SPECIFIED BREATHABLE MASONRY COATING AS REQUIRED TO MATCH COLOR.
 - AT AREAS OF STEP CRACKS IN BRICK, INJECT SPECIFIED COMPOSITE GROUT MORTAR INTO SMALL CRACKS (LESS THAN 1/2 INCH). COAT SURFACE WITH SPECIFIED BREATHABLE MASONRY COATING AS REQUIRED TO MATCH COLOR - SEE 5 AS.
- PAINT REMOVAL FROM BRICK WORK**
- APPLY PAINT REMOVERS ACCORDING TO PAINT REMOVERS MANUFACTURER'S WRITTEN INSTRUCTIONS. DO NOT ALLOW PAINT REMOVERS TO REMAIN ON SURFACE FOR PERIODS LONGER THAN THOSE INDICATED OR RECOMMENDED IN WRITING BY MANUFACTURER.
 - REMOVE LOOSE AND PEELING PAINT USING LOW-TO-MEDIUM-PRESSURE WATER SPRAY (AS DETERMINED BY MOCK-UPS), SCRAPERS, STIFF BRUSHES, OR A COMBINATION OF THESE. LET SURFACE DRY THOROUGHLY.
 - APPLY THICK COAT OF PAINT REMOVER TO PAINTED SURFACE WITH NATURAL-FIBER CLEANING BRUSH, DREAP ROLLER, OR LARGE PAINT BRUSH. APPLY IN ONE OR TWO COATS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ALLOW PAINT REMOVER TO REMAIN ON SURFACE FOR PERIOD RECOMMENDED IN WRITING BY MANUFACTURER OR AS DETERMINED BY PRECONSTRUCTION TESTING.
 - RINSE WITH COLD WATER APPLIED BY LOW-TO-MEDIUM-PRESSURE SPRAY (AS DETERMINED BY MOCK-UPS) TO REMOVE CHEMICALS AND PAINT RESIDUE.
 - IT IS NOT THE INTENTION TO REMOVE ALL THE PAINT FROM THE EXISTING BRICK MASONRY. PAINT REMOVAL SHALL BE TO THE EXTENT TO REMOVE ALL LOOSE AND FLAKING PAINT AND TO CREATE A SOUND PAINTABLE SURFACE FOR THE APPLICATION OF NEW PAINT TO MATCH EXISTING. (THIS IS SPECIFIC TO BRICK - SEE PAINT REMOVAL FOR BROWNSTONE)

FINISH CARPENTRY REPAIR NOTES

- GENERAL REPAIR NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENCIES (SUCH AS PEOPLE, LAWN, WATER SOURCES, ETC.) DURING THE EXECUTION OF FINISH CARPENTRY REPAIRS AND SURFACE PREPARATION AND PAINTING.
 - PROVIDE ADEQUATE MEANS BY WHICH WORKERS AND THE ARCHITECT SHALL HAVE ACCESS TO THE EXTERIOR OF THE BUILDING TO UNDERTAKE AND REVIEW THE WORK PROVIDING A SAFE WORKING ENVIRONMENT ACCORDING TO OSHA REQUIREMENTS AND OTHER REQUIREMENTS AS SET FORTH IN THE TECHNICAL SPECIFICATIONS.
- WOOD REPAIR AND SURFACE PREPARATION AND PAINTING NOTES:**
- FILL ALL HOLES IN TRIM, SOFFITS AND OTHER FINISH CARPENTRY COMPONENTS INCLUDING MINOR GAPS IN WOOD COMPONENTS WITH EPOXY OR WOOD FILLER. REFER TO TECHNICAL SPECIFICATIONS. THESE TYPES OF REPAIRS ARE PART OF THE BASE CONTRACT AS PART OF THE SURFACE PREPARATION REPAIRS.
 - PROVIDE MOCK-UPS OF FINISH CARPENTRY REPAIRS (DUTCHMAN AND EPOXY CONSOLIDATION) FOR REVIEW AND APPROVAL FROM THE ARCHITECT.
 - ALLOW FOR AT LEAST (3) MOCK-UPS IN ORDER TO OBTAIN APPROVALS.
 - APPROVED MOCK-UPS MAY BE PART OF THE FINISH WORK. IF CHOSEN NOT TO, THE MOCK-UP MUST REMAIN IN PLACE UNTIL ALL REPAIR WORK IS COMPLETE.
 - UNDERTAKE ALL FINISH CARPENTRY REPAIRS INCLUDING EPOXY, DUTCHMAN AND UNIT REPLACEMENT REPAIRS PRIOR TO PAINTING. ALL NEW WOOD SHALL BE BACK PRIMED PRIOR TO INSTALLATION. REFER TO THE TECHNICAL SPECIFICATION FOR ADDITIONAL INFORMATION ON FINISH CARPENTRY RESTORATION.
 - SURFACE PREPARE ALL NEW AND EXISTING WOOD SURFACES TO RECEIVE PRIMER AND (2) COATS FINISH PAINT. REMOVE ALL LOOSE OR FLAKING PAINT, SAND TO A FEATHERED EDGE AT HIGH POINTS AND WHERE THERE IS A BUILD-UP OF PAINT PROVIDING A SMOOTH PAINTABLE SURFACE. IT IS NOT THE INTENTION OF THIS PROJECT TO REMOVE ALL LAYERS OF EXISTING PAINT DUE TO THE HISTORIC NATURE OF THE EXISTING MATERIAL FABRIC. HOWEVER, DEEP RECESSES, ROUGH-EDGED RIDGES AND GOUGES ARE NOT ACCEPTABLE REQUIRING CARE AND CRAFTSMANSHIP IN EXECUTION OF SURFACE PREPARATION TECHNIQUES.
 - PROVIDE A MOCK-UP OF SURFACE PREPARATION TECHNIQUES FOR THE ARCHITECT'S REVIEW. THE APPROVED MOCK-UP SHALL REMAIN UNTIL ALL SURFACE PREPARATION HAS BEEN COMPLETED SERVING AS A MODEL FOR THE REMAINDER OF THE WORK. AT THE COMPLETION OF ALL SURFACE PREPARATION, THE MOCK-UP MAY BE MADE PART OF THE FINISHED WORK PRODUCT.
 - THE ARCHITECT SHALL REVIEW SURFACE PREPARATION BEFORE PAINTING IS TO BEGIN.
 - PRIME AND (2) COAT FINISH PAINT ALL EXTERIOR FINISH CARPENTRY COMPONENTS INCLUDING BUT NOT LIMITED TO WINDOWS, FRAMES, TRIM, AND SIDING AS SHOWN ON DRAWINGS.
 - PROVIDE A PAINT MOCK-UP FOR THE ARCHITECT'S REVIEW. THE APPROVED MOCK-UP SHALL REMAIN UNTIL ALL PAINTING HAS BEEN COMPLETED SERVING AS A MODEL FOR THE REMAINDER OF THE WORK. AT THE COMPLETION OF PAINTING, THE MOCK-UP MAY BE MADE PART OF THE FINISHED WORK PRODUCT.

REPAIR ALLOWANCES

- WOOD REPAIR ALLOWANCES PER ELEVATION:**
- ALLOW FOR 5 LF (1"X12"X12") UNIT MEASURE OF DUTCHMAN REPAIR/REPLACEMENT OF DETERIORATED WOOD TRIM THAN SHOWN ON DRAWINGS.
- MASONRY REPAIR ALLOWANCES PER ELEVATION:**
- ALLOW FOR 15 SF OF ADDITIONAL REPOINTING (BRICK AND STONE) PER ELEVATION THAN INDICATED. MAKE ASSESSMENT AFTER ALL SURFACE PREPARATION WORK HAS BEEN COMPLETED.
 - ALLOW FOR 12 SF OF BRICK REPLACEMENT THAN INDICATED. AFTER ALL SURFACE PREPARE WORK HAS BEEN COMPLETED.

TYPICAL DAMAGED WOODEN STRUCTURAL MEMBER OR ORNAMENT (N.T.S.)

- DRILL HOLES 4 - 8 INCHES O.C.
- INSTALL TEMPORARY FORM AS REQUIRED
- MIX RESIN & HARDENER* TOGETHER IN SQUEEZE BOTTLE
- LET SET FOR 5 MINUTES (INDUCTION TIME)
- SQUEEZE LIQUID INTO PRE-DRILLED HOLES
- ALLOW 24 HOURS CURING TIME
- REMOVE FORM

*** "LIQUIDWOOD" AS MANUFACTURED BY ABATRON, INC.**

(A) MINOR DAMAGE (SPONGY)

TYPICAL DAMAGED WOODEN STRUCTURAL MEMBER OR ORNAMENT (N.T.S.)

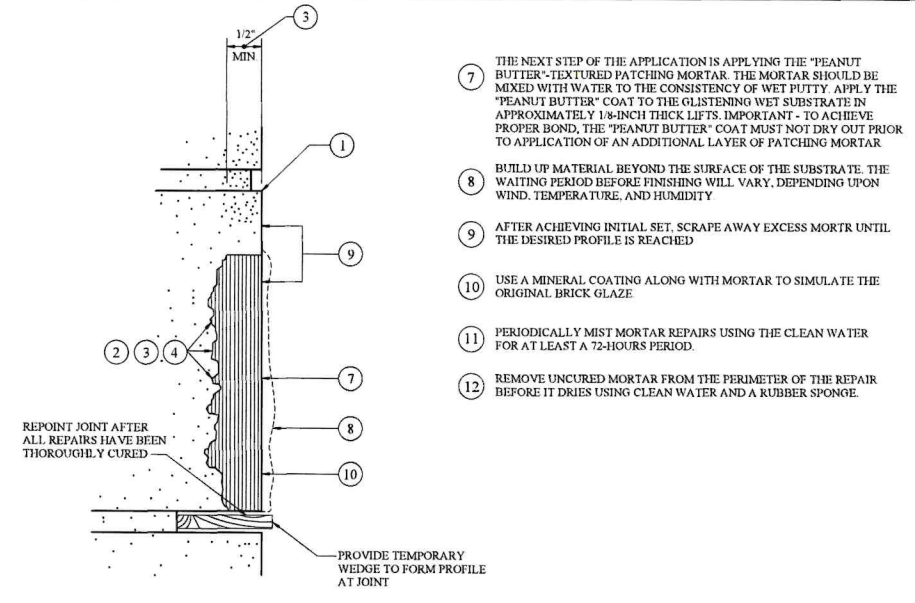
- REMOVE ALL DAMAGED DETERIORATED WOOD
- PRIME W/LIQUID RESIN & HARDENER AS ABOVE* (3-5)
- INSTALL TEMPORARY FORMS AS REQUIRED
- MIX RESIN & HARDENER** TOGETHER INTO WORKABLE PASTE
- LET SET FOR 10 MINUTES (INDUCTION TIME)
- WORK PASTE INTO VOIDS - SMOOTH SURFACE W/SPACKLE KNIFE

**** WOODPOX AS MANUFACTURED BY ABATRON, INC.**

(B) MAJOR DAMAGE (DECOMPOSED)

GENERAL NOTES

- INSTALLER AND HANDLERS SHALL WEAR PROTECTIVE MASKS, GLOVES AND CLOTHING AS PER MANUFACTURER'S LATEST PRECAUTIONS
- "LIQUIDWOOD" AND "WOODPOX" ARE PROPRIETARY PRODUCTS AS MANUFACTURED BY ABATRON, INC. GILBERT, ILLINOIS. CONSULT MANUFACTURER'S LATEST SPECIFICATIONS FOR USE.
- TOTAL CURING TIME VARIES ACCORDING TO TEMPERATURES
- MATERIALS MAY BE NAILED, DRILLED, SAWN, PLANED AND PAINTED UPON CURING
- FOR ORNAMENTAL CARPENTRY REPAIR, MATCH EXISTING PROFILES EXACTLY.



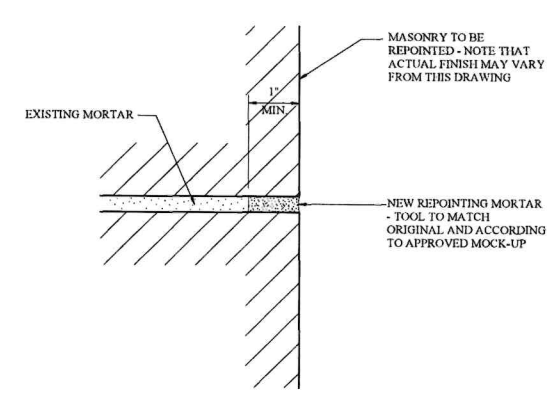
- THE NEXT STEP OF THE APPLICATION IS APPLYING THE "PEANUT BUTTER"-TEXTURED PATCHING MORTAR. THE MORTAR SHOULD BE MIXED WITH WATER TO THE CONSISTENCY OF WET PUTTY. APPLY THE "PEANUT BUTTER" COAT TO THE GLAZING WET SUBSTRATE BY APPROXIMATELY 1/8-INCH THICK LIFTS. IMPORTANT - TO ACHIEVE PROPER BOND, THE "PEANUT BUTTER" COAT MUST NOT DRY OUT PRIOR TO APPLICATION OF AN ADDITIONAL LAYER OF PATCHING MORTAR.
- BUILD UP MATERIAL BEYOND THE SURFACE OF THE SUBSTRATE. THE WAITING PERIOD BEFORE FINISHING WILL VARY, DEPENDING UPON WIND, TEMPERATURE, AND HUMIDITY.
- AFTER ACHIEVING INITIAL SET, SCRAPE AWAY EXCESS MORTAR UNTIL THE DESIRED PROFILE IS REACHED.
- USE A MINERAL COATING ALONG WITH MORTAR TO SIMULATE THE ORIGINAL BRICK GLAZE.
- PERIODICALLY MIST MORTAR REPAIRS USING THE CLEAN WATER FOR AT LEAST A 72-HOURS PERIOD.
- REMOVE UNCURED MORTAR FROM THE PERIMETER OF THE REPAIR BEFORE IT DRIES USING CLEAN WATER AND A RUBBER SPONGE.



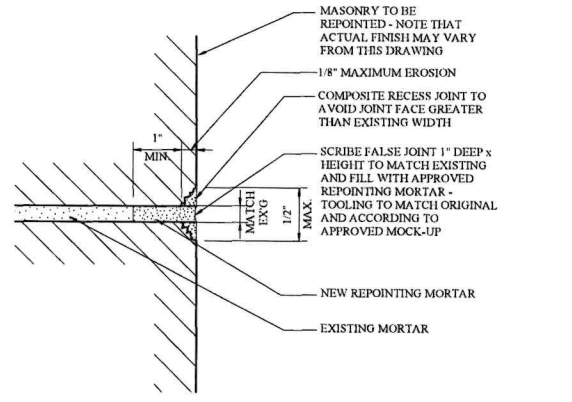
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- "LIQUIDWOOD" AND "WOODPOX" ARE PROPRIETARY PRODUCTS AS MANUFACTURED BY ABATRON, INC. GILBERT, ILLINOIS. CONSULT MANUFACTURER'S LATEST SPECIFICATIONS FOR USE.
- TOTAL CURING TIME VARIES ACCORDING TO TEMPERATURES
- MATERIALS MAY BE NAILED, DRILLED, SAWN, PLANED AND PAINTED UPON CURING
- FOR ORNAMENTAL CARPENTRY REPAIR, MATCH EXISTING PROFILES EXACTLY.



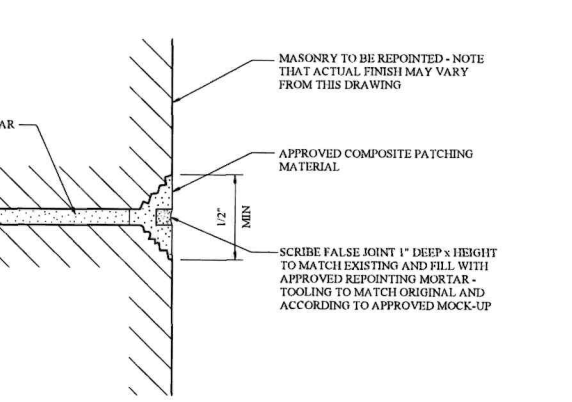
- TEST UNIT ATTACHMENT WITH RUBBER MALLET AFTER EPOXY RESIN IS FULLY CURED AND BEFORE INSTALLATION OF COMPOSITE PATCH MORTAR.
- EXACT PROFILES OR CONDITIONS MAY NOT REFLECT EXISTING CONDITIONS.



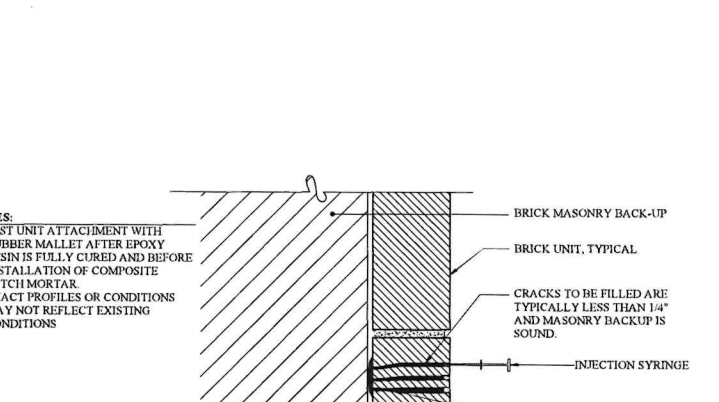
- NOTES:**
- PROVIDE JOINT MOCK-UPS.
 - PROFILES OR CONDITIONS SHOWN MAY NOT REFLECT ACTUAL EXISTING CONDITIONS - NEW POINTING TO MATCH EXISTING TOOLING AT OLDER/ORIGINAL POINTING.



- NOTES:**
- PROVIDE JOINT MOCK-UP.
 - PROFILES OR CONDITIONS SHOWN MAY NOT REFLECT ACTUAL EXISTING CONDITIONS - NEW POINTING TO MATCH EXISTING TOOLING AT OLDER/ORIGINAL POINTING.



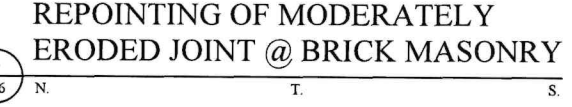
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- NOTES:**
- SURFACE PREPARE ALL NEW AND EXISTING WOOD SURFACES TO RECEIVE PRIMER AND (2) COATS FINISH PAINT AS INDICATED ON THE DRAWINGS.
 - REMOVE ALL LOOSE OR FLAKING PAINT WITH SCRAPERS WITHOUT GAUGING THE WOOD.
 - SAND TO A FEATHERED EDGE AT HIGH POINTS AND WHERE THERE IS A BUILD-UP OF PAINT PROVIDING A SMOOTH PAINTABLE SURFACE.
 - IT IS NOT THE INTENTION OF THIS PROJECT TO REMOVE ALL LAYERS OF EXISTING PAINT DUE TO THE HISTORIC NATURE OF THE EXISTING MATERIAL FABRIC.



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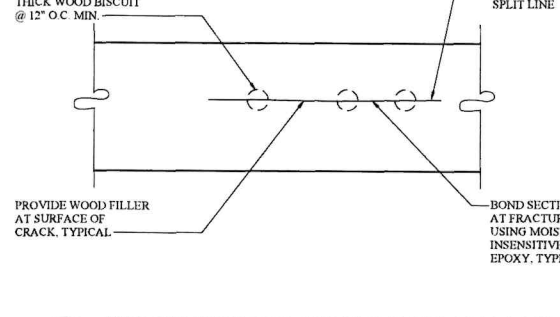
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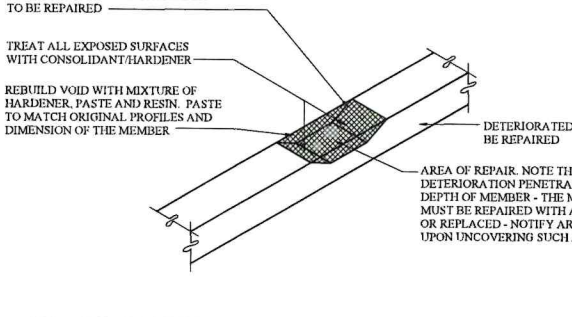
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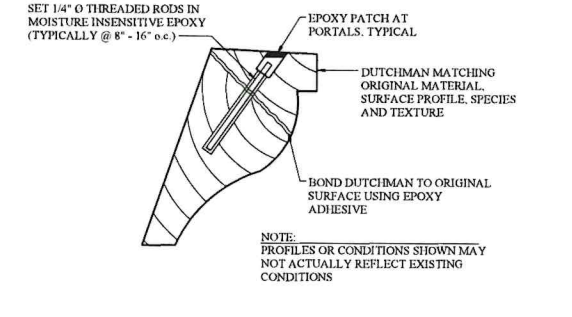
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- SURFACE PREPARE ALL NEW AND EXISTING WOOD SURFACES TO RECEIVE PRIMER AND (2) COATS FINISH PAINT AS INDICATED ON THE DRAWINGS.
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 - SAND TO A FEATHERED EDGE AT HIGH POINTS AND WHERE THERE IS A BUILD-UP OF PAINT PROVIDING A SMOOTH PAINTABLE SURFACE.
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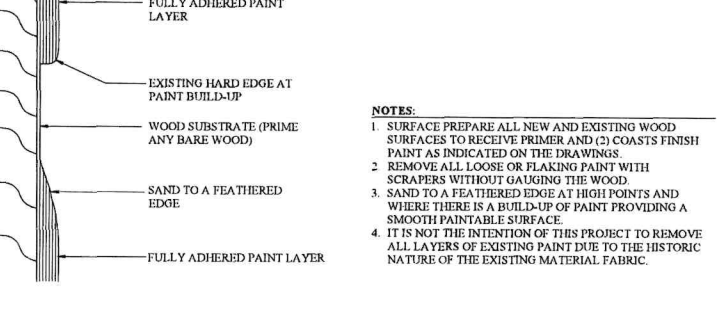
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- NOTES:**
- SURFACE PREPARE ALL NEW AND EXISTING WOOD SURFACES TO RECEIVE PRIMER AND (2) COATS FINISH PAINT AS INDICATED ON THE DRAWINGS.
 - REMOVE ALL LOOSE OR FLAKING PAINT WITH SCRAPERS WITHOUT GAUGING THE WOOD.
 - SAND TO A FEATHERED EDGE AT HIGH POINTS AND WHERE THERE IS A BUILD-UP OF PAINT PROVIDING A SMOOTH PAINTABLE SURFACE.
 - IT IS NOT THE INTENTION OF THIS PROJECT TO REMOVE ALL LAYERS OF EXISTING PAINT DUE TO THE HISTORIC NATURE OF THE EXISTING MATERIAL FABRIC.

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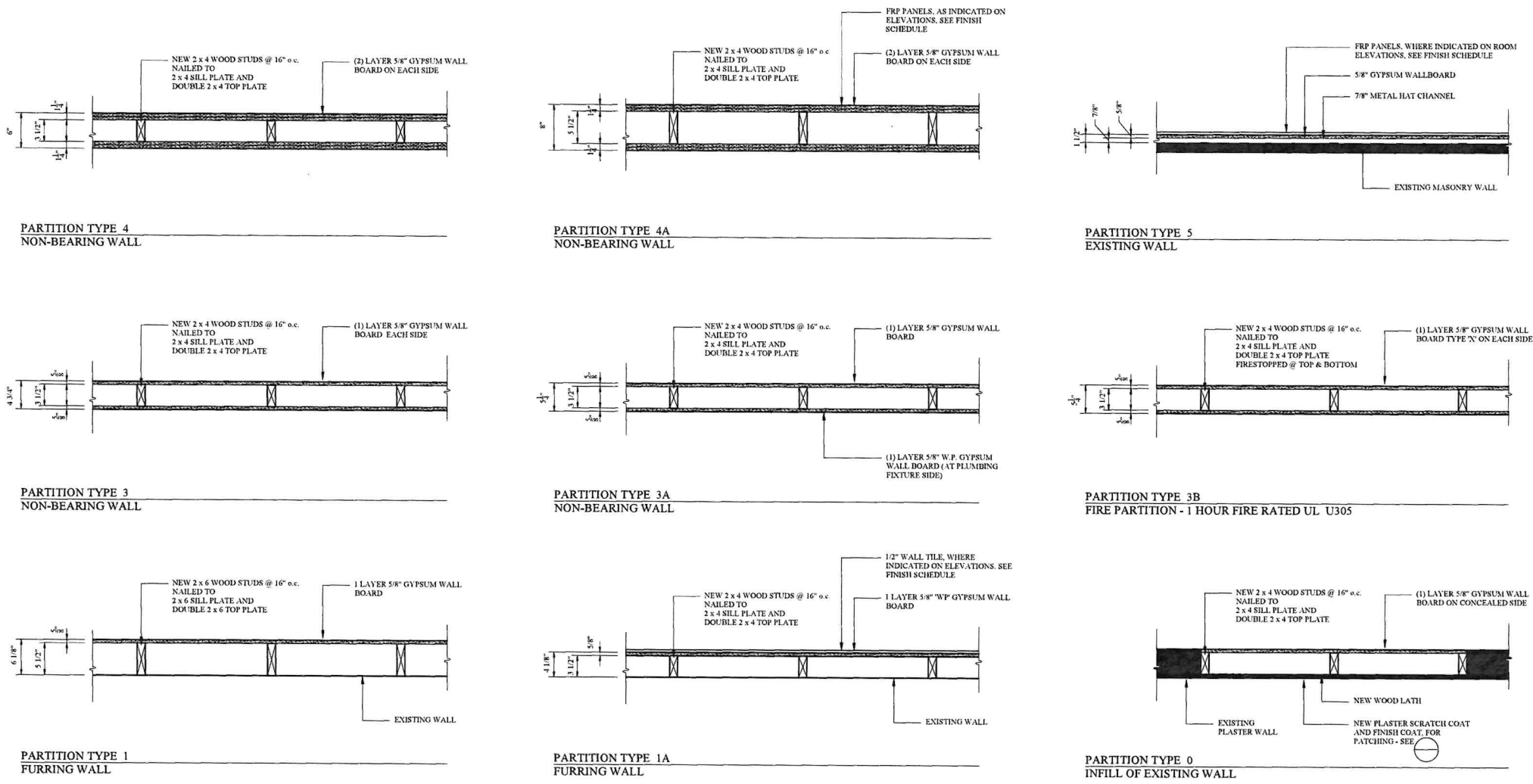
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PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MS, TJ, CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A6



INTERIOR REPAIR NOTES

GENERAL NOTES - TO BE PERFORMED ON WALL AND CEILING SURFACES AS NOTED ON THE DRAWINGS

- STABILIZE LOOSE AND DAMAGED PLASTER. CALL FOR ARCHITECT'S INSPECTION.
- SURFACE PREPARE PLASTER AND WOOD SURFACES TO BE READY FOR REPAIRS - REVIEW CONDITIONS WITH ARCHITECT WHERE PERTINENT PRIOR TO PROCEEDING WITH SURFACE PREPARATION. (PREPARE APPROPRIATE MOCK-UPS PRIOR TO BEGINNING ANY SURFACE PREPARATION PROCEDURES.)
- PROVIDE SAMPLE OF EACH WOODEN ELEMENT (BASE, CHAIR RAIL, CORNICHE, ETC.) TO BE REPRODUCED PRIOR TO PURCHASE AS PART OF SUBMITTAL/MOCK-UP PROCESS. THIS PROJECT WILL REQUIRE KNIVES TO BE MADE TO PRODUCE CUSTOM PROFILES. (NOTE: THE KNIVES SHALL BE THE PROPERTY OF THE BOROUGHS OF MENDHAM AT COMPLETION OF THE PROJECT TO PERMIT REPLICATION IN THE FUTURE.)
- PROVIDE MOCK-UP FOR PLASTER RESTORATION AT PLASTER ON BRICK, PLASTER ON EXISTING WOOD LATH AND PLASTER ON NEW WOOD LATH.
- RESTORE THE PLASTER FINISHES AND WOODEN TRIM COMPONENTS TO MATCH EXISTING WORKING IN A LOGICAL SEQUENCE SO ALL WORK IS INTEGRATED FOR A PROPER FINISH.
- PLASTER SHALL BE LEFT TO CURE AT LEAST 30 DAYS PRIOR TO APPLICATION OF PAINTED FINISHES.
- FINISH INTERIOR SPACES PER THE INTERIOR ELEVATIONS AT ALL NEW AND EXISTING PLASTER WALLS, CEILINGS, AND INTERIOR FINISH CARPENTRY.

SPECIFIC PLASTER NOTES

- REMOVE ALL LOOSE, SUGARING OR SEVERELY DETERIORATED PLASTER. REVIEW CONDITIONS WITH ARCHITECT PRIOR TO REMOVAL.
- AT BRICK WALLS - AT CRACKS IN PLASTER, CUT OUT CRACKS IN EXISTING PLASTER AND INFILL CRACKS WITH REPLICATION PLASTER. APPLY A BONDING AGENT AS NEEDED ALONG CRACKS.
- AT FRAME WALLS - WHERE THE PLASTER IS DETERIORATED AND THE LATH IS INTACT, REMOVE DETERIORATED PLASTER, STABILIZE THE PERIMETER AROUND THE AREA OF LOSS WITH PLASTER WASHERS AND INSTALL THREE-COATS REPLICATION PLASTER.
- AT FRAME WALLS - AT CRACKS, STABILIZE BOTH SIDES OF THE CRACKED PLASTER WITH PLASTER WASHERS, AND INFILL CRACKS WITH REPLICATION PLASTER.
- CONTRACTOR SHALL PROVIDE MOCK-UPS OF ALL REPAIRS FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH ANY REPAIR.

SPECIFIC WOOD TRIM, DOORS, AND WINDOWS NOTES:

- WHERE SURFACES ARE TO BE PAINTED - USE FINISH NAILS, COUNTERSINK AND PUTTY.
- SURFACE PREPARE (TYPICALLY A LIGHT SANDING), SPOT PRIME AND 2-COAT FINISH PAINT WINDOW SASHES, SURROUNDS, AND TRIM. FOR REPAIRS TO SASHES - REFER TO WINDOW SCHEDULE.
- EXISTING INTERIOR DOORS SHALL BE REMOVED, RECEIVE SURFACE PREPARATION (LIGHT SANDING AND SPOT PRIMED) AND 2-COAT FINISH PAINTED (ALL SIX SIDES).
- REFER TO INTERIOR ELEVATIONS FOR REPAIRS TO WOOD BASES, CHAIR RAILS, CORNICES, DOOR SURROUNDS, ETC. ALL INTERIOR FINISH CARPENTRY ELEMENTS SHALL RECEIVE A LIGHT SANDING, SPOT PRIMER AND TWO (2) COATS OF FINISH PAINT. BACK PRIME ANY NEW WOOD.
- REMOVE DISPLACED AND DAMAGED WOOD TRIM COMPONENTS. ALLOW FOR COMBINATION OF DUTCHMAN AND EPOXY REPAIRS AND REINSTALL. TIGHTEN ALL JOINTS.
- FILL ALL HOLES IN TRIM, DOORS AND OTHER FINISH CARPENTRY ELEMENTS INCLUDING MINOR GAPS IN WOOD BOARDS WITH APPROVED EPOXY OR WOOD FILLER. REFER TO TECHNICAL SPECIFICATIONS.
- UNDERTAKE ALL FINISH CARPENTRY REPAIRS INCLUDING EPOXY, DUTCHMAN AND UNIT REPLACEMENT REPAIRS PRIOR TO PAINTING. ALL NEW WOOD SHALL BE BACK PRIMED PRIOR TO INSTALLATION. REFER TO THE TECHNICAL SPECIFICATION FOR ADDITIONAL INFORMATION ON FINISH CARPENTRY RESTORATION.
- SURFACE PREPARE ALL NEW AND EXISTING WOOD SURFACES TO RECEIVE PRIMER AND 2 COATS FINISH PAINT. REMOVE ALL LOOSE OR FLAKING PAINT, SAND TO A FEATHERED EDGE AT HIGH POINTS AND WHERE THERE IS A BUILD-UP OF PAINT PROVIDE A SMOOTH PAINTABLE SURFACE.
- PROVIDE A MOCK-UP OF SURFACE PREPARATION TECHNIQUES FOR THE ARCHITECT'S REVIEW. THE APPROVED MOCK-UP SHALL REMAIN UNTIL ALL SURFACE PREPARATION HAS BEEN COMPLETED SERVING AS A GUIDE FOR THE REMAINDER OF THE WORK. AT THE COMPLETION OF ALL SURFACE PREPARATION, THE MOCK-UP MAY BE MADE PART OF THE FINISHED WORK PRODUCT.
- THE ARCHITECT SHALL REVIEW SURFACE PREPARATION TECHNIQUES BEFORE PAINTING IS TO BEGIN.

FLOORING NOTES:

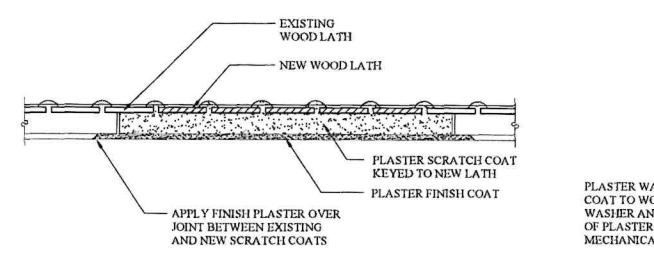
- AT EXISTING FLOORING TO REMAIN, CLEAN THOROUGHLY AND CALL FOR ARCHITECT TO INSPECT. ALLOW FOR TOUCH-UP FINISHING (BY HAND) OF STAIR TREADS, RISERS AND LANDINGS.

5 PARTITION TYPES

A7 1" = 1' - 0"

1 PLASTER ON METAL LATH DETAIL

A7 N T S



PLASTER WASHER TYING DISPLACED SCRATCH COAT TO WOOD LATH STRUCTURE - SET WASHER AND SCREW HEAD BELOW SURFACE OF PLASTER FINISH COAT. CONCEAL ALL MECHANICAL ATTACHMENTS, TYP.

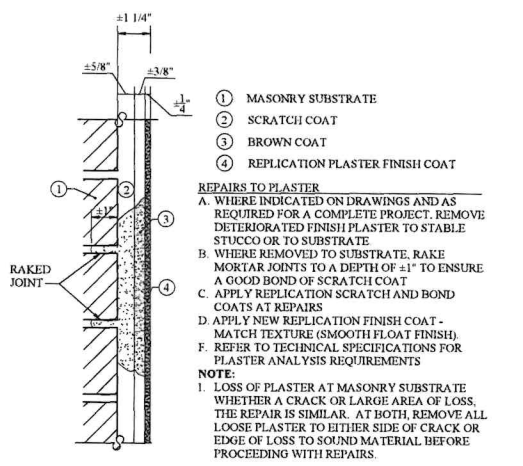
CUT BACK EXISTING PLASTER FINISH COAT TO ATTACH WASHERS - APPLY NEW FINISH PLASTER OVER AREA OF REPAIR

1 PLASTER ON LATH DETAIL

A7 N T S

2 PLASTER CRACK REPAIR

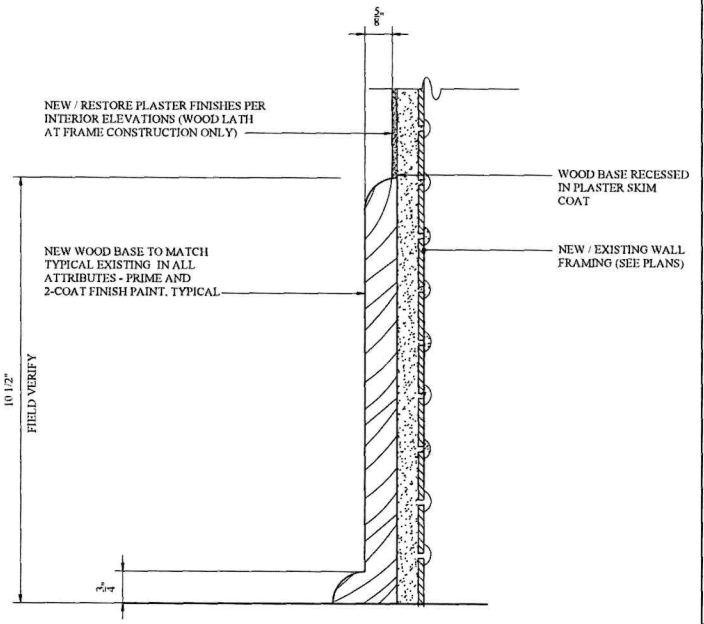
A7 N T S



- MASONRY SUBSTRATE
 - SCRATCH COAT
 - BROWN COAT
 - REPLICATION PLASTER FINISH COAT
- REPAIRS TO PLASTER**
- A. WHERE INDICATED ON DRAWINGS AND AS REQUIRED FOR A COMPLETE PROJECT, REMOVE DETERIORATED FINISH PLASTER TO STABLE STUCCO OR TO SUBSTRATE.
- B. WHERE REMOVED TO SUBSTRATE, RAKE MORTAR JOINTS TO A DEPTH OF $\pm 1"$ TO ENSURE A GOOD BOND OF SCRATCH COAT.
- C. APPLY REPLICATION SCRATCH AND BOND COATS AT REPAIRS.
- D. APPLY NEW REPLICATION FINISH COAT - MATCH TEXTURE (SMOOTH FLOAT FINISH).
- E. REFER TO TECHNICAL SPECIFICATIONS FOR PLASTER ANALYSIS REQUIREMENTS.
- NOTE:**
1. LOSS OF PLASTER AT MASONRY SUBSTRATE WHETHER A CRACK OR LARGE AREA OF LOSS, THE REPAIR IS SIMILAR. AT BOTH, REMOVE ALL LOOSE PLASTER TO EITHER SIDE OF CRACK OR EDGE OF LOSS TO SOUND MATERIAL BEFORE PROCEEDING WITH REPAIRS.

3 PLASTER ON BRICK DETAIL

A7 N T S



4 WOOD BASE

A7 6" = 1' - 0"

CONNOLLY & HICKEY
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THOMAS B. CONNOLLY, AIA
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MARGARET M. HICKEY, AIA
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PROJECT No.: 2016C
DATE: 08 AUGUST 2022
REVISIONS:

DRAWN BY: MS, TJ, CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A7

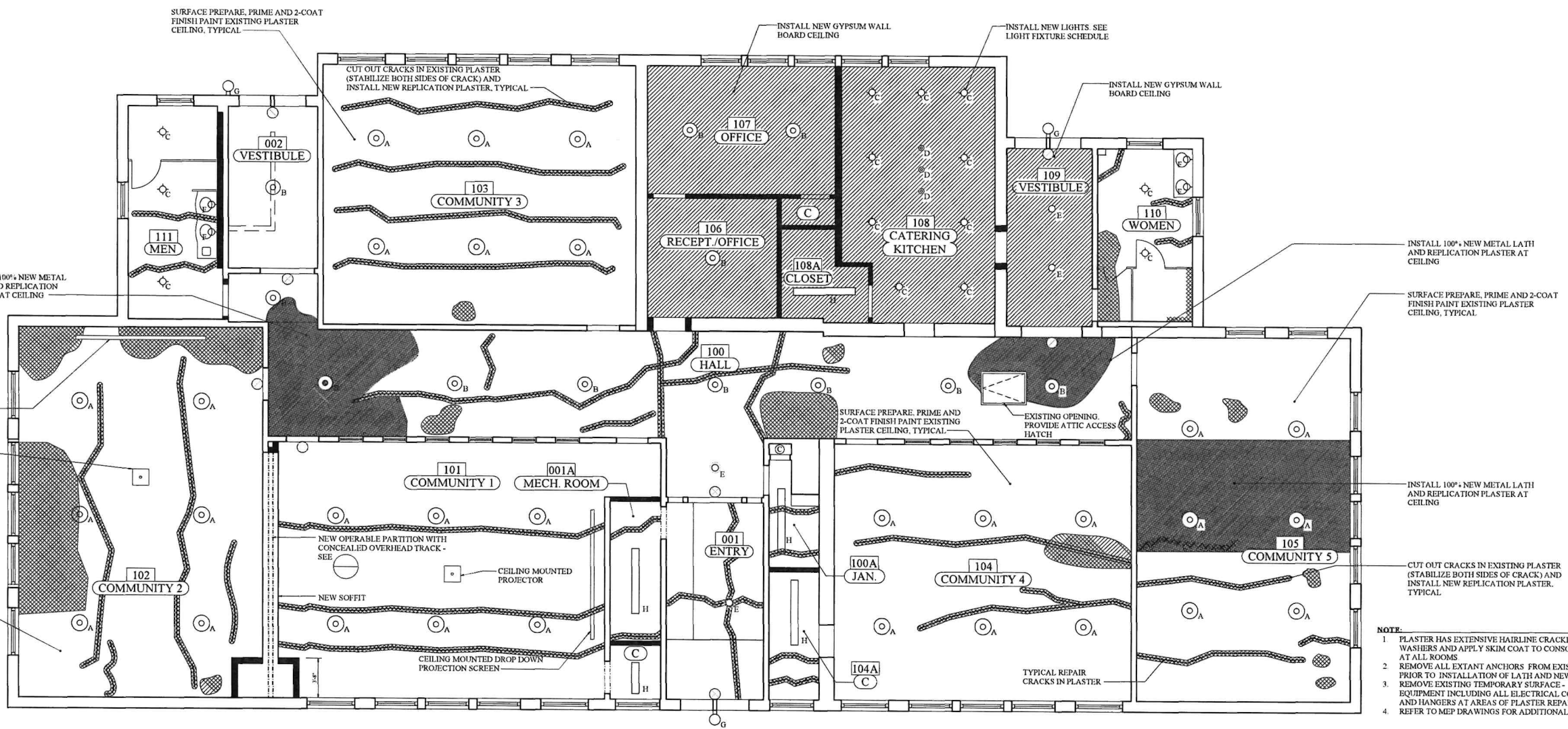
LEGEND

- SKIM
- ⊙ DOWNLIGHT
- PENDANT FEATURE
- WALL MOUNTED FEATURE
- EXISTING FEATURE
- LINEAR FEATURE

NOTE: REFER TO ELECTRICAL LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION

CEILING REPAIR KEY

- INSTALL NEW REPLICATION PLASTER IN 8 TO SEVERE DETERIORATION OR WIGGLY PLASTER LOSS - ALLOW FOR 1/4" REPLACEMENT OF METAL LATH
- STABILIZE BOTH SIDES OF CRACK, CUT OUT LOOSE PLASTER FROM WITHIN CRACK, AND INSTALL NEW REPLICATION PLASTER - SEE
- PLASTER CEILING FINISHES INTACT BUT LOOSE, INSTALL A SYSTEM OF PLASTER WASHERS TO STABILIZE PLASTER
- INSTALL 100% NEW METAL LATH AND REPLICATION PLASTER AT CEILING PROVIDE INTERMEDIATE FRAMING MEMBERS PER # IF SPACING UNUSUAL, AS REQUIRED
- NEW GYPSUM WALLBOARD PROVIDE INTERMEDIATE FRAMING MEMBERS PER # IF SPACING UNUSUAL



- NOTE:**
1. PLASTER HAS EXTENSIVE HAIRLINE CRACKING, STABILIZE WITH WASHERS AND APPLY SKIM COAT TO CONSOLIDATE FINISHES AT ALL ROOMS
 2. REMOVE ALL EXISTANT ANCHORS FROM EXISTING FRAMING PRIOR TO INSTALLATION OF LATH AND NEW PLASTER
 3. REMOVE EXISTING TEMPORARY SURFACE - MOUNTED EQUIPMENT INCLUDING ALL ELECTRICAL CONDUIT/FIXTURES AND HANGERS AT AREAS OF PLASTER REPAIRS
 4. REFER TO MEP DRAWINGS FOR ADDITIONAL FIXTURES

1 FIRST FLOOR REFLECTED CEILING PLAN
A7 3/16" = 1' - 0"

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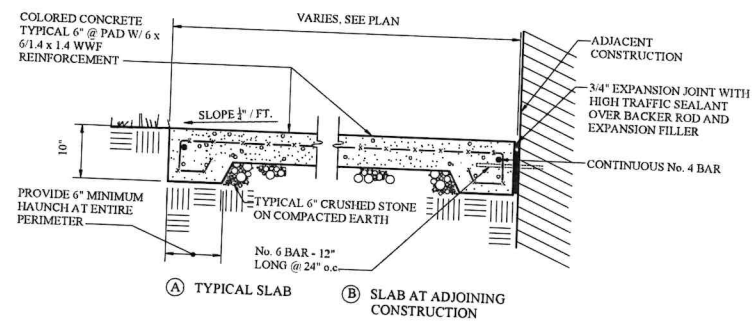
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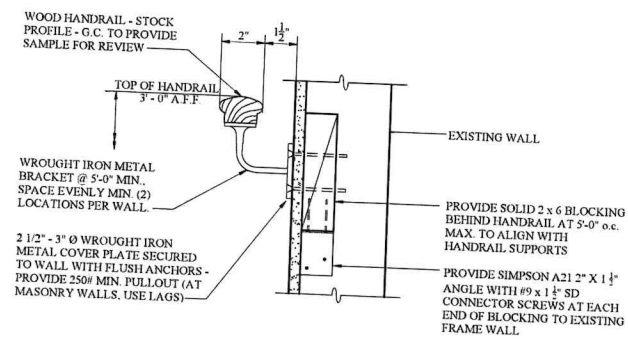
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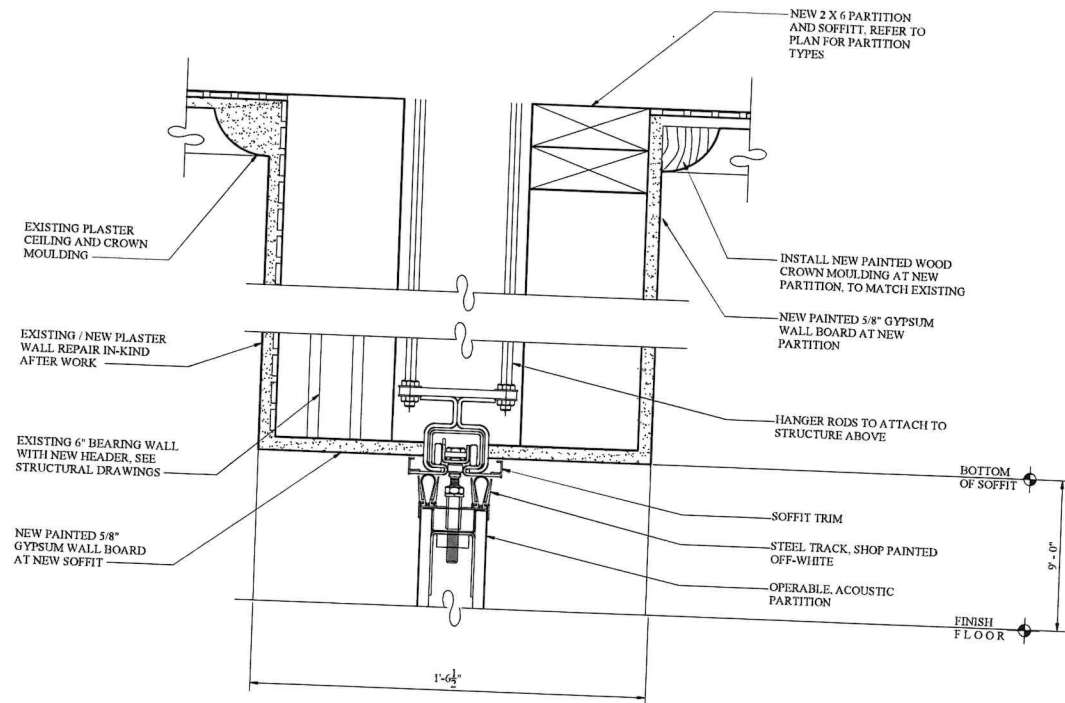
A8



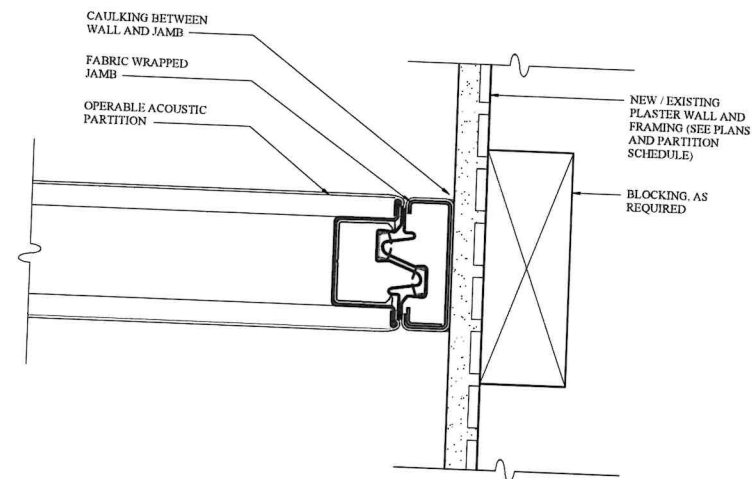
3 EXTERIOR CONCRETE WALK DETAIL
 A9 3/4" = 1' - 0"



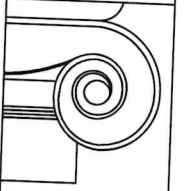
5 HANDRAIL DETAIL
 A9 3" = 1' - 0"



1 OPERABLE ACOUSTIC PARTITION SOFFIT DETAIL
 A9 3" = 1' - 0"



2 OPERABLE ACOUSTIC PARTITION JAMB DETAIL
 A9 6" = 1' - 0"



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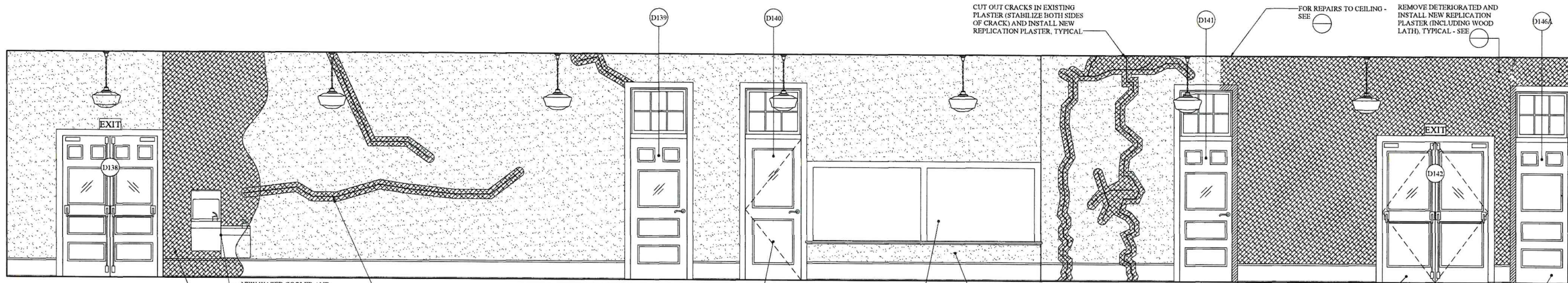
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RESTORATION AND REHABILITATION
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A9



C SOUTH

NEW WATER COOLER AND BOTTLE FILLING STATIONS
REMOVE DETERIORATED AND INSTALL NEW REPLICATION PLASTER (INCLUDING WOOD LATH), TYPICAL - SEE

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

INSTALL NEW DOOR. REFER DOOR SCHEDULE

RESTORE EXISTING TACK BOARD. CLEAN THE SURFACE OF THE CHALKBOARD, TYPICAL

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

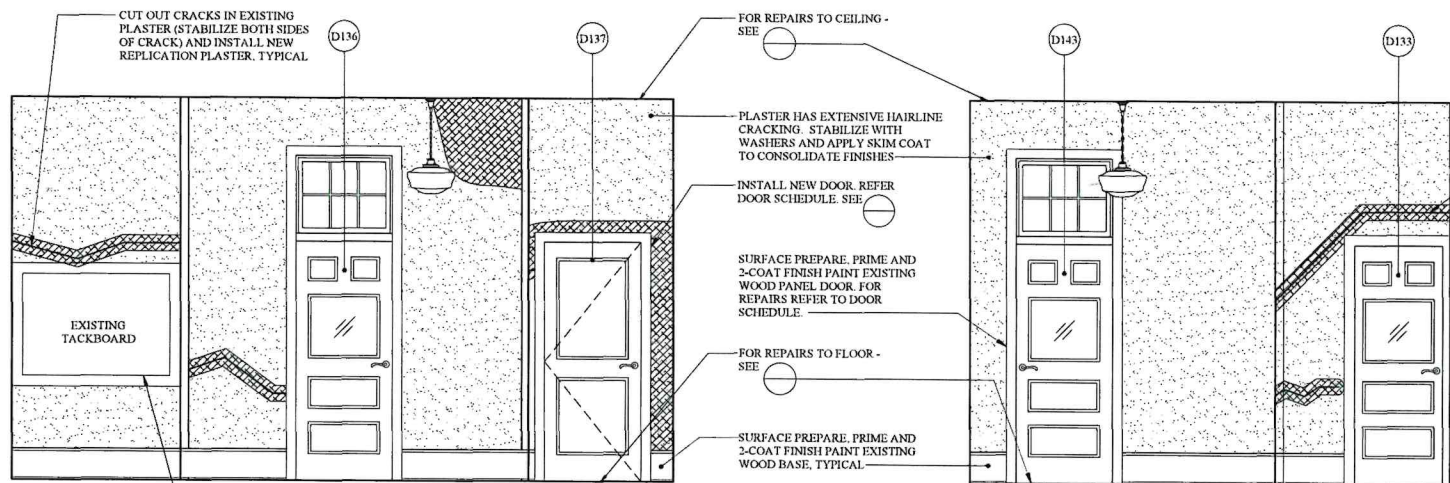
FOR REPAIRS TO CEILING - SEE

REMOVE DETERIORATED AND INSTALL NEW REPLICATION PLASTER (INCLUDING WOOD LATH), TYPICAL - SEE

INSTALL NEW DOOR. REFER DOOR SCHEDULE

NEW WOOD TRIM TO MATCH EXISTING
NEW WOOD CASING TO MATCH EXISTING

EXISTING DOOR TO BE FIXED. REFER TO DOOR SCHEDULE



B EAST

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING TRIM AT TACKBOARD, TYPICAL

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

FOR REPAIRS TO CEILING - SEE

PLASTER HAS EXTENSIVE HAIRLINE CRACKING. STABILIZE WITH WASHERS AND APPLY SKIM COAT TO CONSOLIDATE FINISHES

INSTALL NEW DOOR. REFER DOOR SCHEDULE. SEE

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD PANEL DOOR. FOR REPAIRS REFER TO DOOR SCHEDULE

FOR REPAIRS TO FLOOR - SEE

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD BASE, TYPICAL

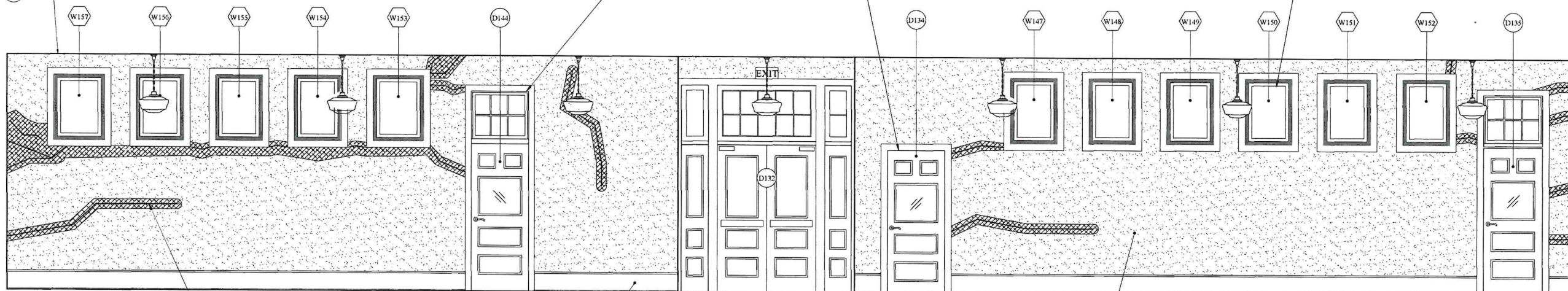
CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

D WEST

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT NEW AND EXISTING WOOD PANEL DOORS. FOR REPAIRS REFER TO DOOR SCHEDULE. SEE SHEETS A AND A

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WINDOW. FOR REPAIRS REFER TO WINDOW SCHEDULE. SEE SHEET A AND A

FOR REPAIRS TO CEILING - SEE



A NORTH

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD BASE, TYPICAL

PLASTER HAS EXTENSIVE HAIRLINE CRACKING. STABILIZE WITH WASHERS AND APPLY SKIM COAT TO CONSOLIDATE FINISHES

INTERIOR REPAIR KEY

	INSTALL NEW REPLICATION PLASTER DUE TO SEVERE DETERIORATION OR WHOLESALE LOSS. ASSUME NEW WOOD LATH.
	PLASTER HAS SIGNIFICANT AMOUNT OF SMALL AND SPIDER CRACKS THROUGHOUT. STABILIZE AND APPLY A SKIM COAT OF PLASTER AT THESE AREAS.
	STABILIZE BOTH SIDES OF CRACK. CUT OUT LOOSE PLASTER FROM WITHIN CRACK, AND INSTALL NEW REPLICATION PLASTER - SEE
	INSTALL NEW TRIM COMPONENT TO MATCH TYPICAL EXISTING AT CHAIR RAIL, BASES, DOOR AND FIREPLACE SURROUNDS, ETC.

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PROJECT No.: 2016C
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RESTORATION AND REHABILITATION
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BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

INTERIOR REPAIR KEY	
	INSTALL NEW REPLICATION PLASTER DUE TO SEVERE DETERIORATION OR WHOLESALE LOSS. ASSUME NEW WOOD LATI.
	PLASTER HAS SIGNIFICANT AMOUNT OF SMALL AND SPIDER CRACKS THROUGHOUT. STABILIZE AND APPLY A SKIM COAT OF PLASTER AT THESE AREAS
	STABILIZE BOTH SIDES OF CRACK. CUT OUT LOOSE PLASTER FROM WITHIN CRACK. AND INSTALL NEW REPLICATION PLASTER - SEE $\frac{X}{AY}$ & $\frac{X}{BX}$
	INSTALL NEW TRIM COMPONENT TO MATCH TYPICAL. EXISTING AT CHAIR RAIL, BASES, DOOR AND FIREPLACE SURROUNDS, ETC.

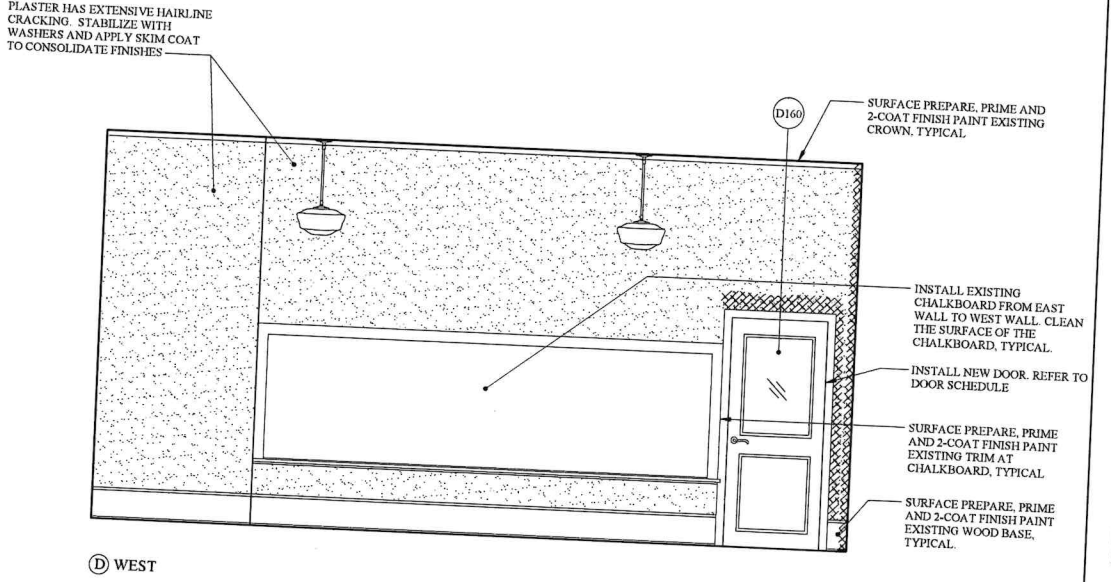
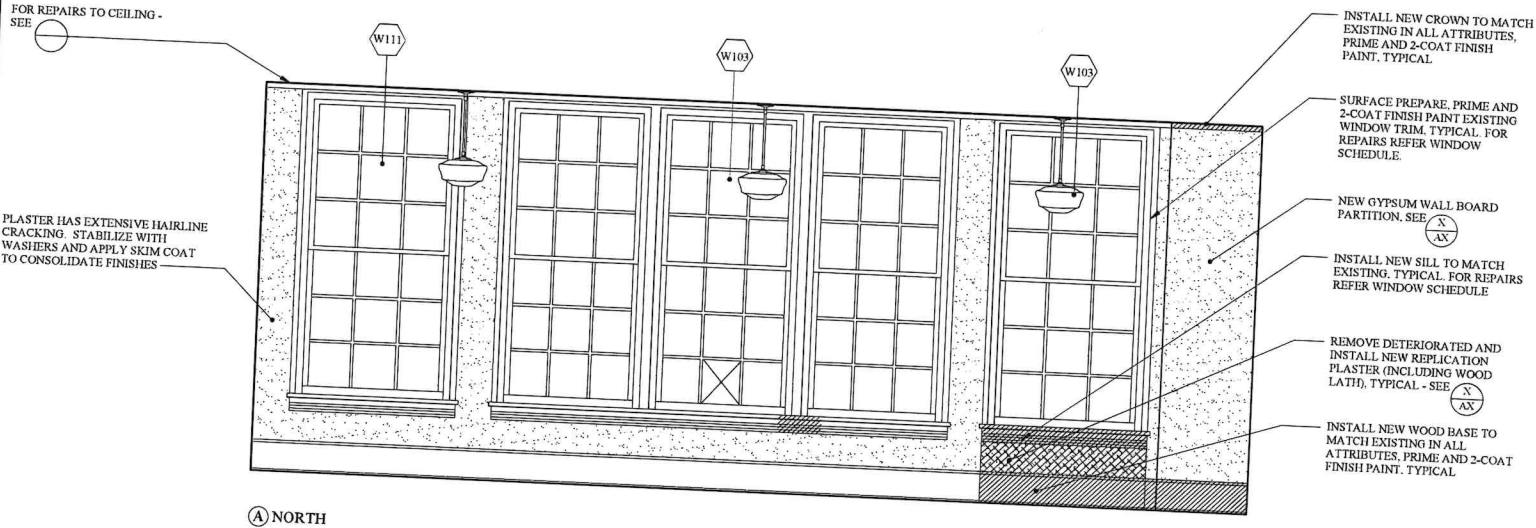
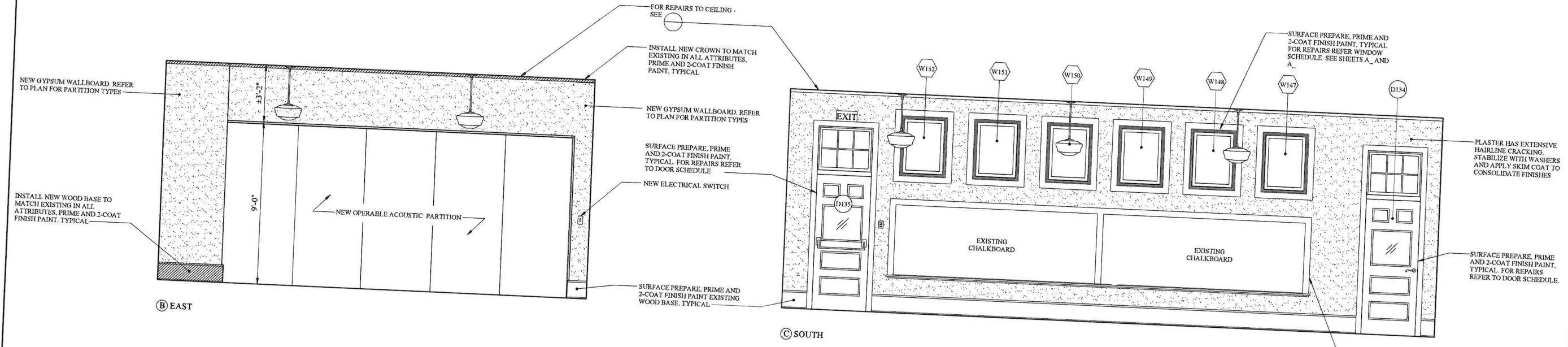
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RESTORATION AND REHABILITATION
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 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A11



1 ROOM 101 COMMUNITY 1 - INTERIOR ELEVATIONS
 A11 3/8" = 1' 0"

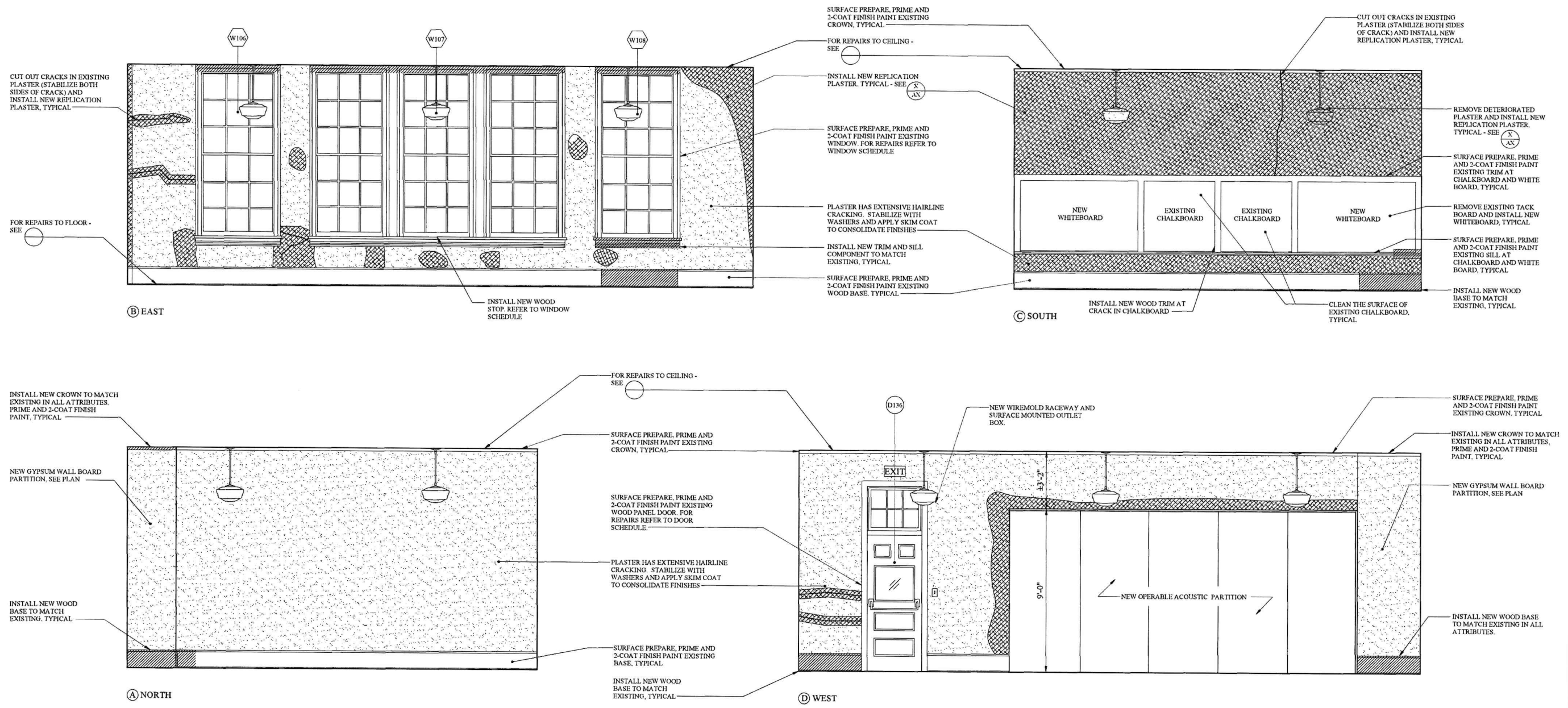
INTERIOR REPAIR KEY	
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	PLASTER HAS SIGNIFICANT AMOUNT OF SMALL AND SPIDER CRACKS THROUGHOUT. STABILIZE AND APPLY A SKIM COAT OF PLASTER AT THESE AREAS
	STABILIZE BOTH SIDES OF CRACK, CUT OUT LOOSE PLASTER FROM WITHIN CRACK, AND INSTALL NEW REPLICATION PLASTER - SEE (X) & (AX)
	INSTALL NEW TRIM COMPONENT TO MATCH TYPICAL EXISTING AT CHAIR RAIL, BASES, DOOR AND FIREPLACE SURROUNDS, ETC.

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RESTORATION AND REHABILITATION
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 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A12



ROOM 102 COMMUNITY 2 - INTERIOR ELEVATIONS
 1/8" = 1' - 0"

INTERIOR REPAIR KEY	
	INSTALL NEW REPLICATION PLASTER DUE TO SEVERE DETERIORATION OR WHOLESALE LOSS. ASSUME NEW WOOD LATH.
	PLASTER HAS SIGNIFICANT AMOUNT OF SMALL AND SPIDER CRACKS THROUGHOUT. STABILIZE AND APPLY A SKIM COAT OF PLASTER AT THESE AREAS.
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	INSTALL NEW TRIM COMPONENT TO MATCH TYPICAL EXISTING AT CHAIR RAIL, BASES, DOOR AND FIREPLACE SURROUNDS, ETC.

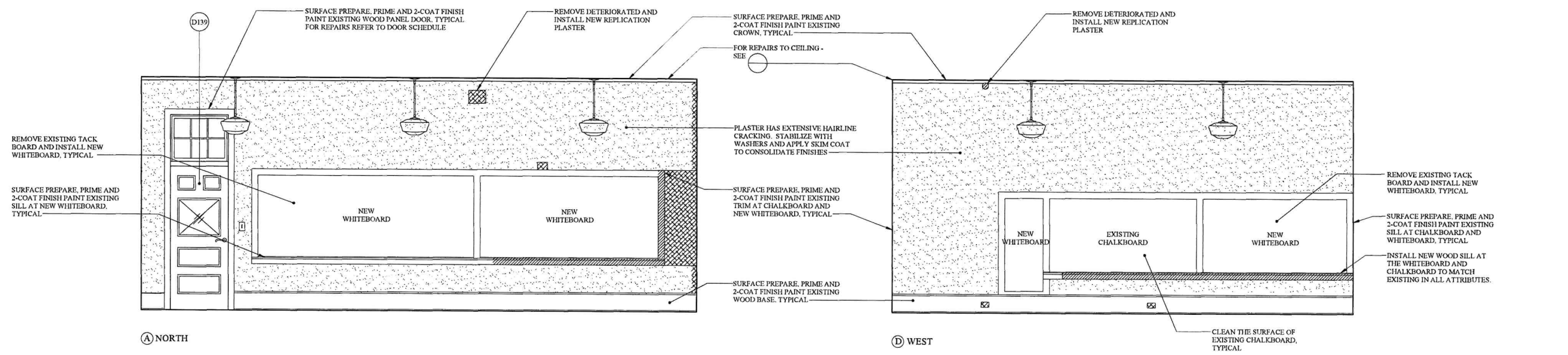
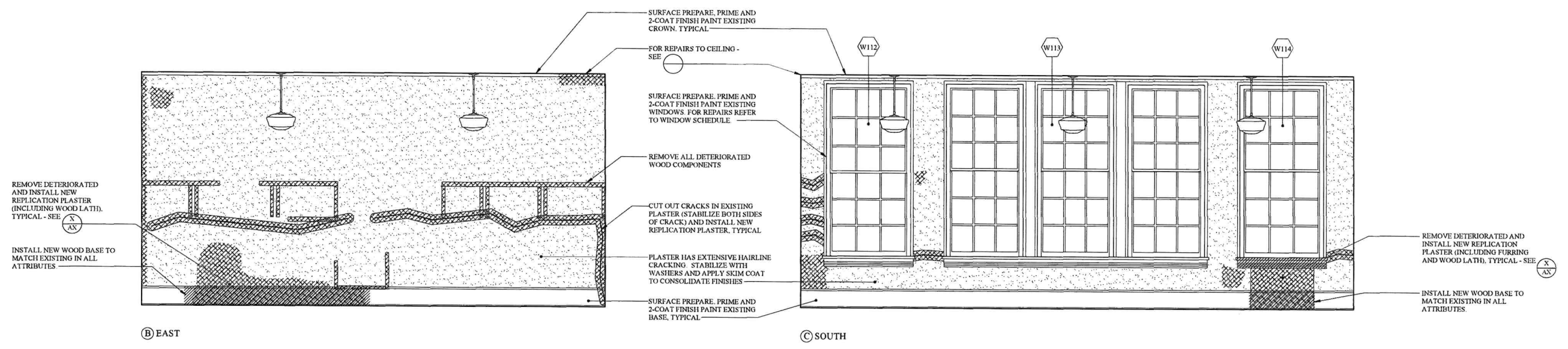
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RESTORATION AND REHABILITATION
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 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A13



ROOM 103 COMMUNITY 3 - INTERIOR ELEVATIONS
 1/8" = 1' - 0"

INTERIOR REPAIR KEY	
	INSTALL NEW REPLICATION PLASTER DUE TO SEVERE DETERIORATION OR WHOLESALF LOSS. ASSUME NEW WOOD LATH.
	PLASTER HAS SIGNIFICANT AMOUNT OF SMALL AND SPIDER CRACKS THROUGHOUT. STABILIZE AND APPLY A SKIM COAT OF PLASTER AT THESE AREAS.
	STABILIZE BOTH SIDES OF CRACK. CUT OUT LOOSE PLASTER FROM WITHIN CRACK. AND INSTALL NEW REPLICATION PLASTER - SEE (X/AX) & (X/AX)
	INSTALL NEW TRIM COMPONENT TO MATCH TYPICAL EXISTING AT CHAIR RAIL, BASES, DOOR AND FIREPLACE SURROUNDS, ETC.

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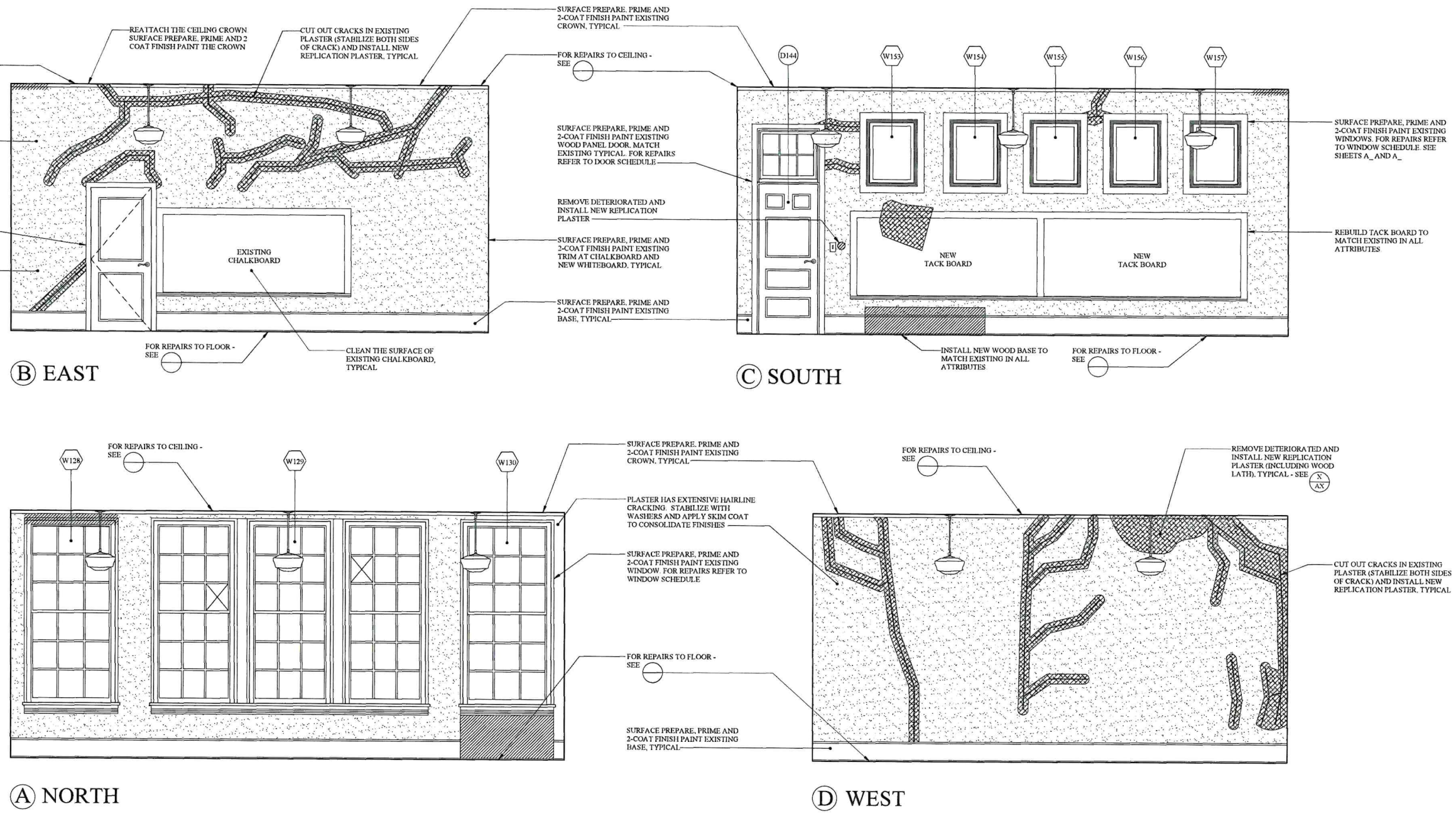
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PROJECT No.: 2016C
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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

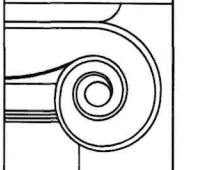
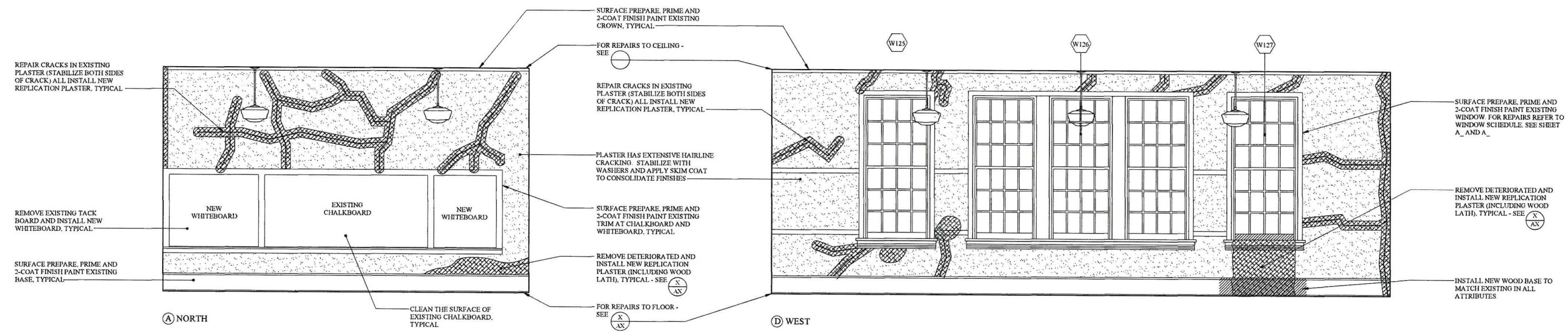
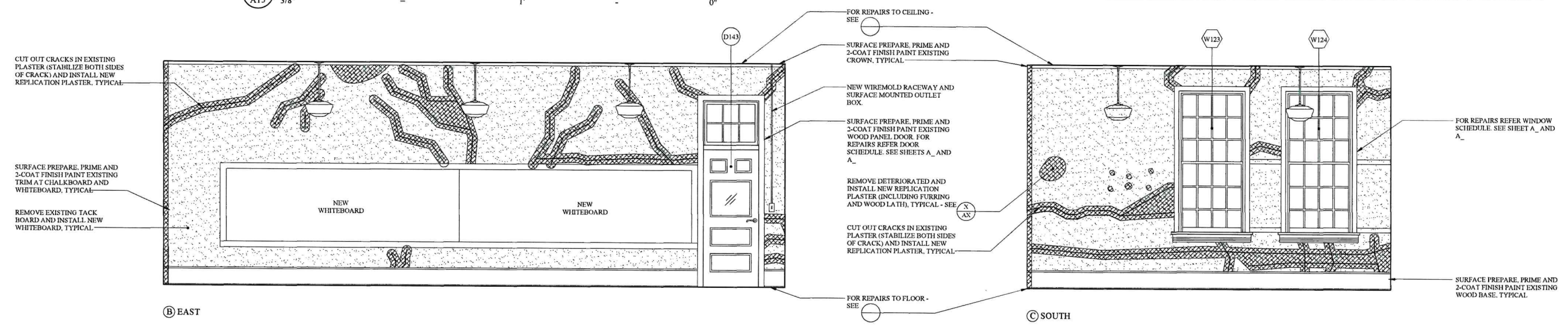
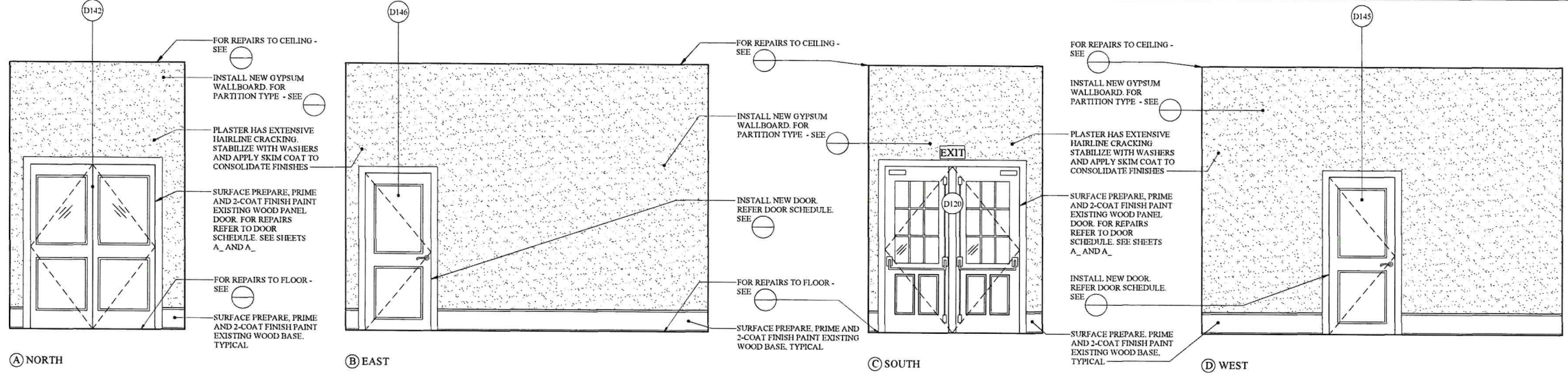
A14



1 ROOM 104 COMMUNITY 4 - INTERIOR ELEVATIONS
 A14 3/8" = 1' 0"

INTERIOR REPAIR KEY

	INSTALL NEW REPLICATION PLASTER DUE TO SEVERE DETERIORATION OR WHOLESALE LOSS. ASSUME NEW WOOD LATH.
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	INSTALL NEW TRIM COMPONENT TO MATCH TYPICAL EXISTING AT CHAIR RAIL, BASES, DOOR AND FIREPLACE SURROUNDS, ETC.



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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A15

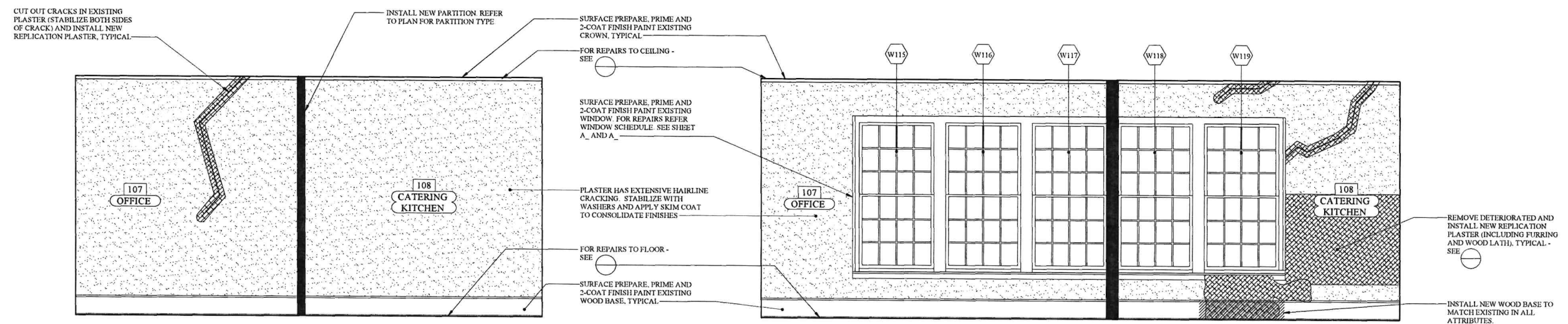
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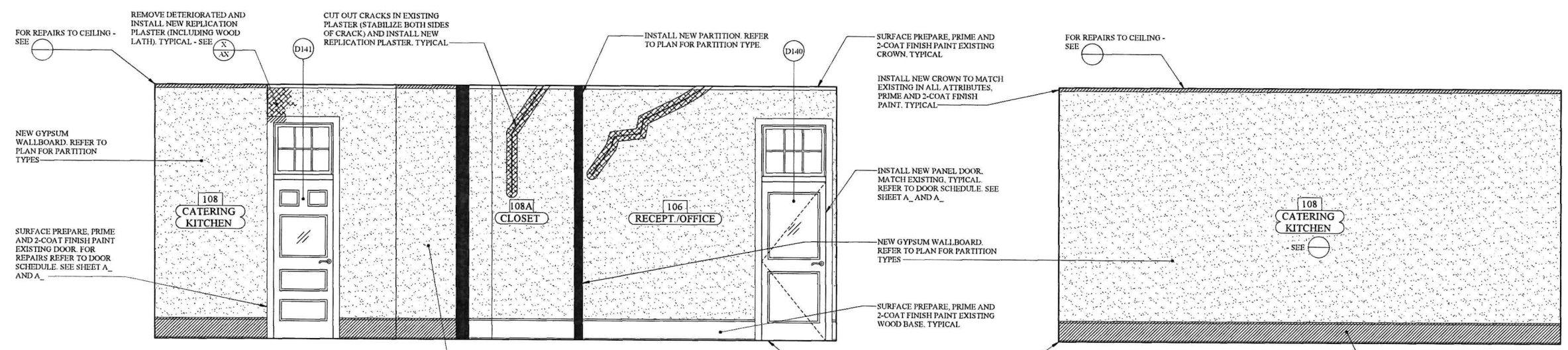
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B EAST

C SOUTH



A NORTH

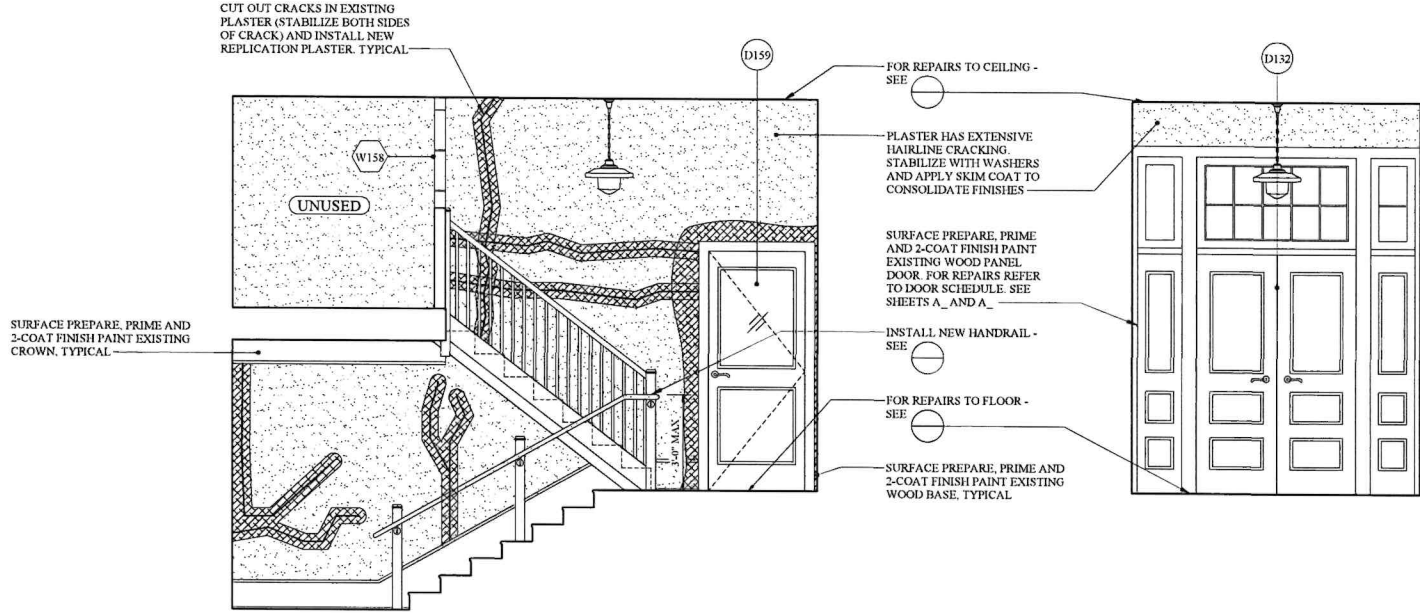
D WEST

1 RECEPTION, OFFICE AND KITCHEN - INTERIOR ELEVATIONS
 A16 3/8" = 1' 0"

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

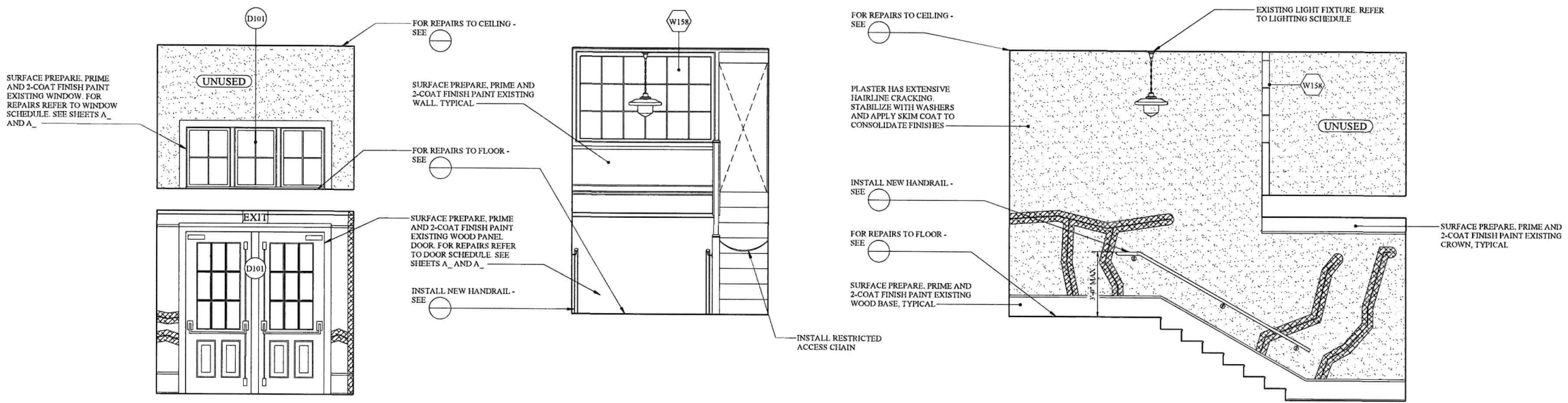
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(B) EAST

(C) SOUTH



(A) NORTH

(A) NORTH

(D) WEST

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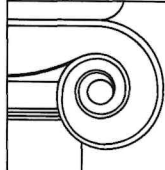
THOMAS B. CONNOLLY, AIA
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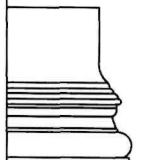
DRAWN BY: AS, TJ, CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

INTERIOR REPAIR KEY	
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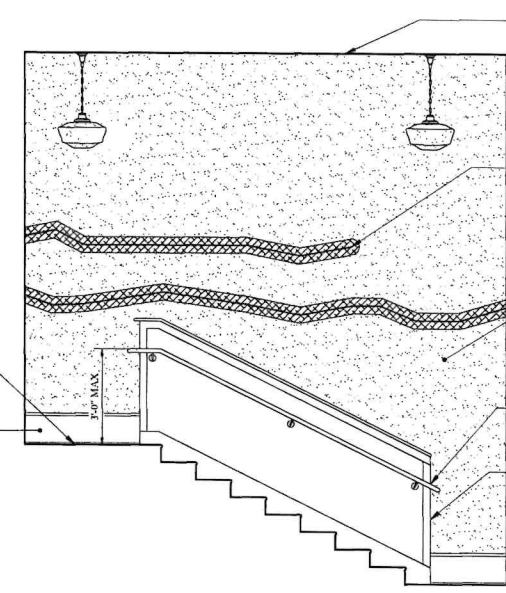
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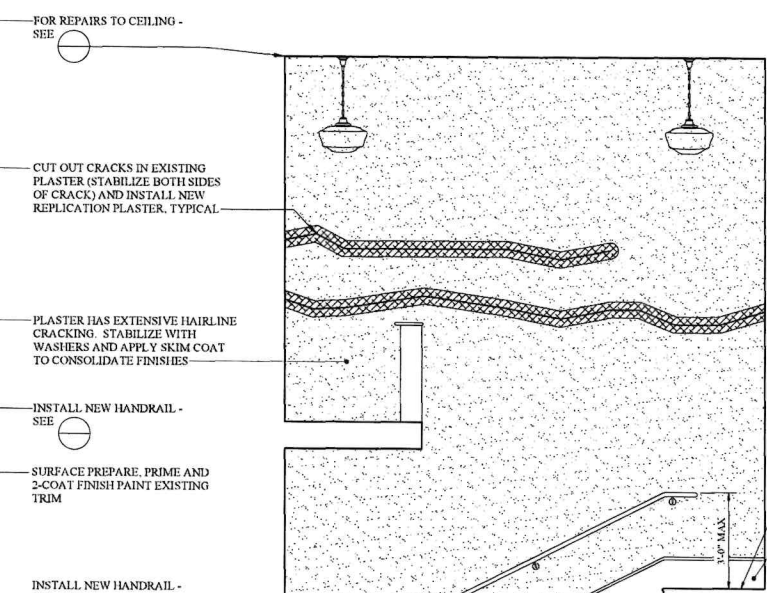
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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
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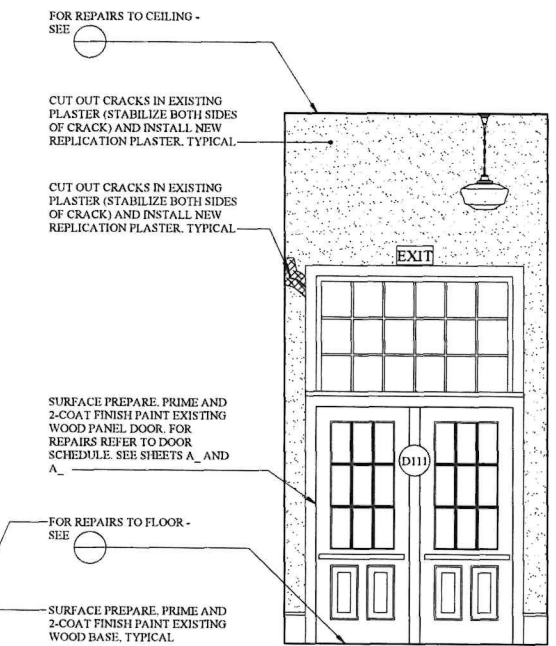
A18



B EAST



D EAST @ BASEMENT



C SOUTH

FOR REPAIRS TO FLOOR - SEE
 SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD BASE, TYPICAL

FOR REPAIRS TO CEILING - SEE

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

PLASTER HAS EXTENSIVE HAIRLINE CRACKING. STABILIZE WITH WASHERS AND APPLY SKIM COAT TO CONSOLIDATE FINISHES

INSTALL NEW HANDRAIL - SEE

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING TRIM

INSTALL NEW HANDRAIL - SEE

FOR REPAIRS TO CEILING - SEE

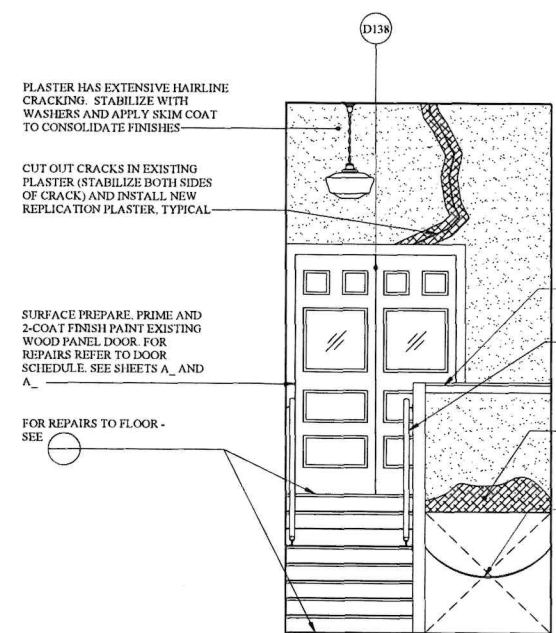
CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

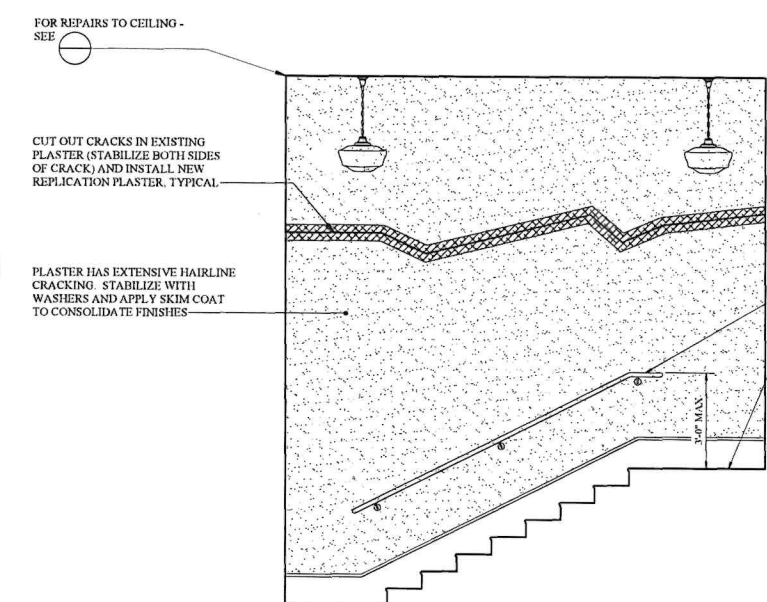
SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD PANEL DOOR. FOR REPAIRS REFER TO DOOR SCHEDULE. SEE SHEETS A_ AND A_

FOR REPAIRS TO FLOOR - SEE

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD BASE, TYPICAL



A NORTH



D WEST

PLASTER HAS EXTENSIVE HAIRLINE CRACKING. STABILIZE WITH WASHERS AND APPLY SKIM COAT TO CONSOLIDATE FINISHES

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT EXISTING WOOD PANEL DOOR. FOR REPAIRS REFER TO DOOR SCHEDULE. SEE SHEETS A_ AND A_

FOR REPAIRS TO FLOOR - SEE

FOR REPAIRS TO CEILING - SEE

CUT OUT CRACKS IN EXISTING PLASTER (STABILIZE BOTH SIDES OF CRACK) AND INSTALL NEW REPLICATION PLASTER, TYPICAL

PLASTER HAS EXTENSIVE HAIRLINE CRACKING. STABILIZE WITH WASHERS AND APPLY SKIM COAT TO CONSOLIDATE FINISHES

INSTALL NEW HANDRAIL - SEE

REMOVE DETERIORATED AND INSTALL NEW REPLICATION PLASTER (INCLUDING WOOD LATH), TYPICAL - SEE

INSTALL RESTRICTED ACCESS CHAIN

INSTALL NEW HANDRAIL - SEE

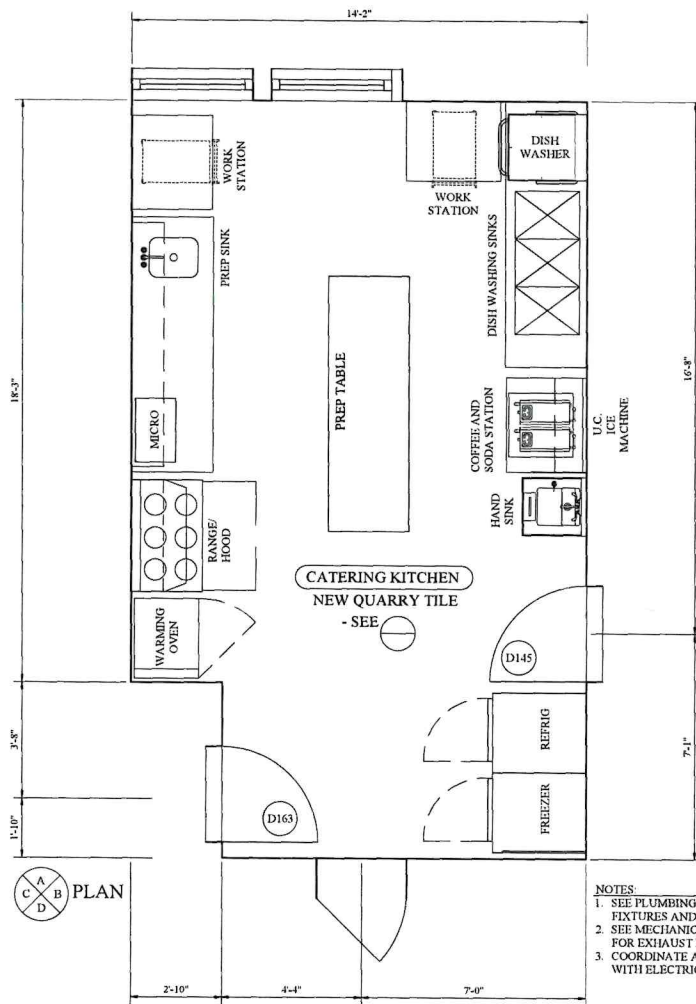
FOR REPAIRS TO FLOOR - SEE

PLUMBING FIXTURE AND APPLIANCE SCHEDULE

ITEM	MAKE	MODEL NUMBER	REMARKS
(C) SIDE BY SIDE REFRIDGERATORS	GENERAL ELECTRIC	69.5 INCH 23.2 CU. FT. BUILT-IN - MODEL No. GSS23GSKS	STAINLESS STEEL
RECIRCULATING HOOD	HALIFAX	EXHP48 TYPE 1'4" X 48" COMMERCIAL KITCHEN HOOD SYSTEM	STAINLESS STEEL
COOKTOP	COOKING PERFORMANCE GROUP	COMMERCIAL RANGE 24" (4) BURNER WITH (1) STANDARD OVEN - MODEL No. 351S24N	STAINLESS STEEL
MICROWAVE OVEN	SHARP	MODEL No. #R1214T ITEM NO. #270185	STAINLESS STEEL
PREP SINK WORK TABLE	REGENCY	MODEL No. ST3046LFT	STAINLESS STEEL
TRIPLE SINK WITH COUNTER	REGENCY	MODEL No. DTC202096LFT	STAINLESS STEEL
DISHWASHER	CHAMPION	MODEL No. DL2000X	STAINLESS STEEL
HAND SINK	REGENCY	MODEL No. HS12	STAINLESS STEEL
COFFEE MAKER	BUNN - AIRPOT COFFEE BREWER	MODEL No. CWT15-AFS	STAINLESS STEEL
ICE MACHINE	MANITOWOC	MODEL No. UYF-0140A Neo 26"	STAINLESS STEEL
PROOFING CABINET (WARMING OVEN)	VULCAN	MODEL No. VP1E-1M3ZN	STAINLESS STEEL
WATER COOLER AND REFILL STATION	ELKAY	MODEL No. EZS8W5LK	LIGHT GRAY
REFRIGERATORS	GE	MODEL No. GSS23GSKS	STAINLESS STEEL
AUTOMATIC FIRE EXTINGUISHING SYSTEM	ANSUL	R-102 RESTAURANT FIRE SUPPRESSION SYSTEM	AT RANGE HOOD

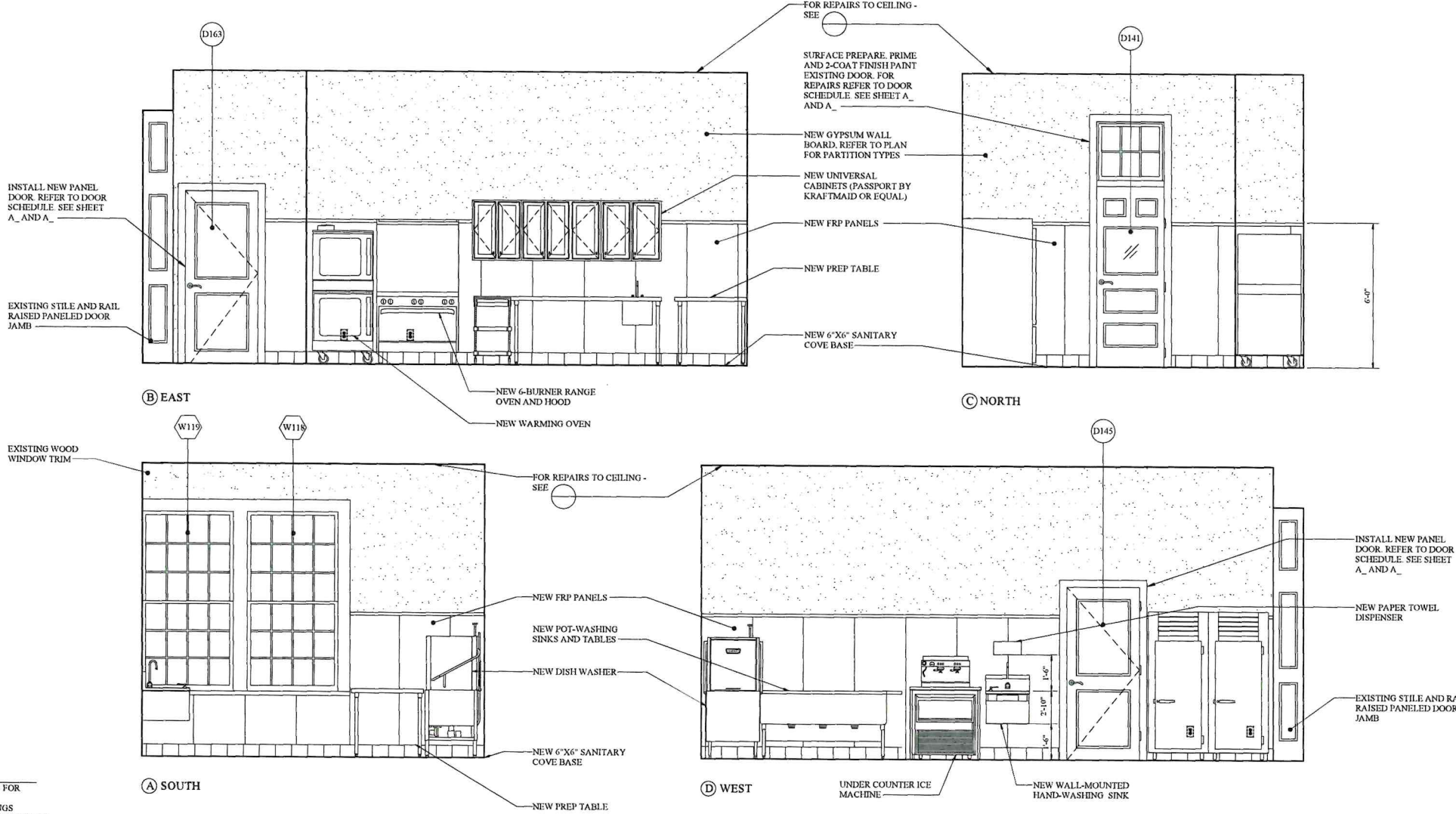
NOTES:

1. APPLIANCES AND PLUMBING FIXTURES TO BE PROVIDED AND INSTALLED BY CONTRACTOR

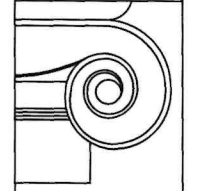


NOTES:
 1. SEE PLUMBING DRAWINGS FOR FIXTURES AND FITTINGS
 2. SEE MECHANICAL DRAWINGS FOR EXHAUST FANS AND DUCTWORK
 3. COORDINATE ALL REQUIREMENTS WITH ELECTRICAL DRAWINGS

1 KITCHEN PLAN
 3/8" = 1' - 0"



2 KITCHEN ELEVATIONS
 3/8" = 1' - 0"



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 NJ 21A101699200
 P.A. RA403776
 MARGARET M. HICKEY, AIA
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PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MS. TJ, CB, PK

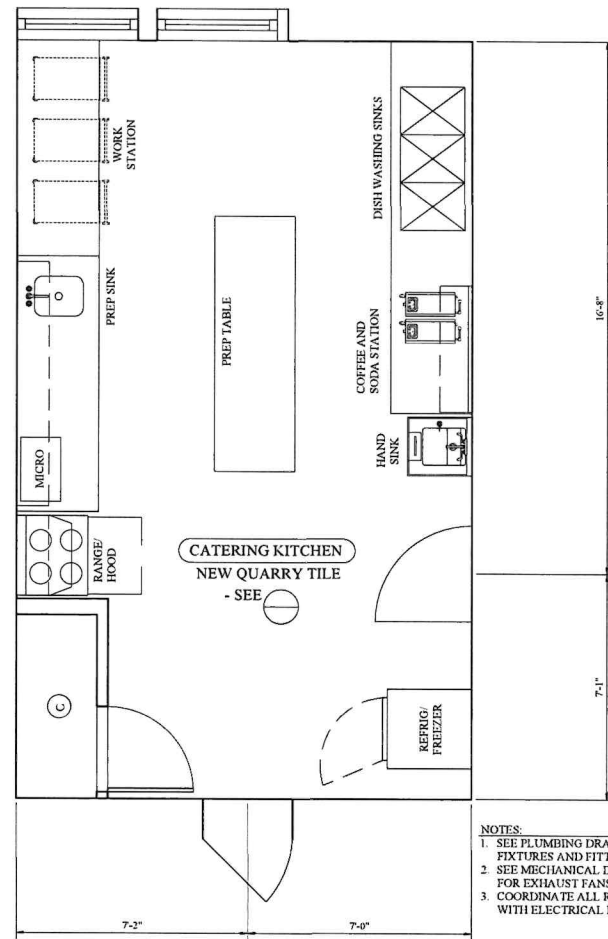
RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A19

PLUMBING FIXTURE AND APPLIANCE SCHEDULE
BID ALTERNATE NO. 1

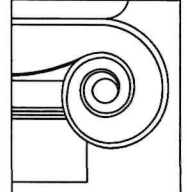
ITEM	MAKE	MODEL NUMBER	REMARKS
(2) SIDE BY SIDE REFRIDGERATORS	GENERAL ELECTRIC	69.5 INCH 23.2 CU. FT. BUILT-IN - MODEL No GSS23GSKSS	STAINLESS STEEL
RECIRCULATING HOOD	HALIFAX	EXHP448 TYPE 1 4' X 48" COMMERCIAL KITCHEN HOOD SYSTEM	STAINLESS STEEL
COOKTOP	COOKING PERFORMANCE GROUP SHARP	COMMERCIAL RANGE 24" (4) BURNER WITH (1) STANDARD OVEN - MODEL No. 351S24N	STAINLESS STEEL
MICROWAVE OVEN	SHARP	MODEL No. #R1214T ITEM NO. #270185	STAINLESS STEEL
PREP SINK WORK TABLE	REGENCY	MODEL No. ST3048LFT	STAINLESS STEEL
TRIPLE SINK WITH COUNTER	REGENCY	MODEL No. DTC202096LFT	STAINLESS STEEL
DISHWASHER	CHAMPION	MODEL No. DL2000X	STAINLESS STEEL
HAND SINK	REGENCY	MODEL No. HS12	STAINLESS STEEL
COFFEE MAKER	BUNN - AIRPOT COFFEE BREWER	MODEL No. CWT15-AFS	STAINLESS STEEL
ICE MACHINE	MANITOWOC	MODEL No. UYF-0140A Neo 26"	STAINLESS STEEL
PROOFING CABINET (WARMING OVEN)	VULCAN	MODEL No. VP18-1M32N	STAINLESS STEEL
WATER COOLER AND REFILL STATION	ELKAY	MODEL No. EZS#WSLK	LIGHT GRAY
REFRIGERATORS	GE	MODEL No. GSS23GSKSS	STAINLESS STEEL
AUTOMATIC FIRE EXTINGUISHING SYSTEM	ANSUL	R-102 RESTAURANT FIRE SUPPRESSION SYSTEM	AT RANGE HOOD

NOTES:
 1. APPLIANCES AND PLUMBING FIXTURES TO BE PROVIDED AND INSTALLED BY CONTRACTOR



NOTES:
 1. SEE PLUMBING DRAWINGS FOR FIXTURES AND FITTINGS.
 2. SEE MECHANICAL DRAWINGS FOR EXHAUST FANS AND DUCTWORK.
 3. COORDINATE ALL REQUIREMENTS WITH ELECTRICAL DRAWINGS.

BID ALTERNATE NO. 1
KITCHEN PLAN
 3/8" = 1' - 0"
 NORTH



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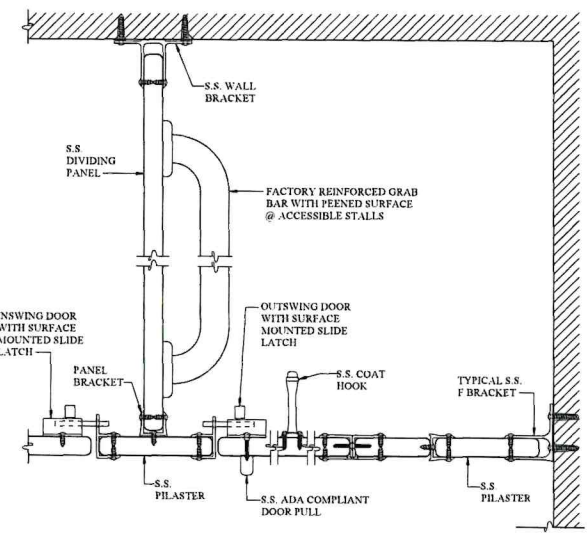
THOMAS B. CONNOLLY, AIA
 NJ 21A10169200
 PA R-403776
 MARGARET M. HICKEY, AIA
 NJ 21A1018244500

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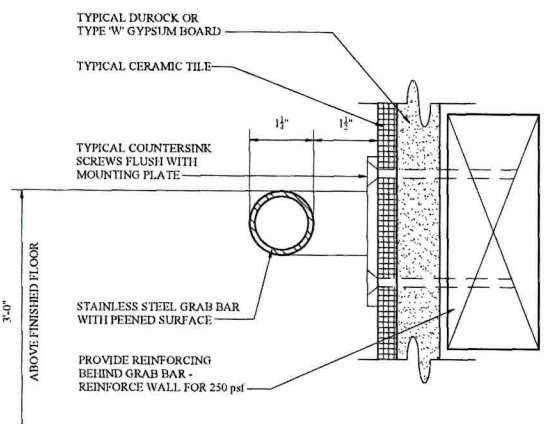
DRAWN BY: MS, TJ, CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

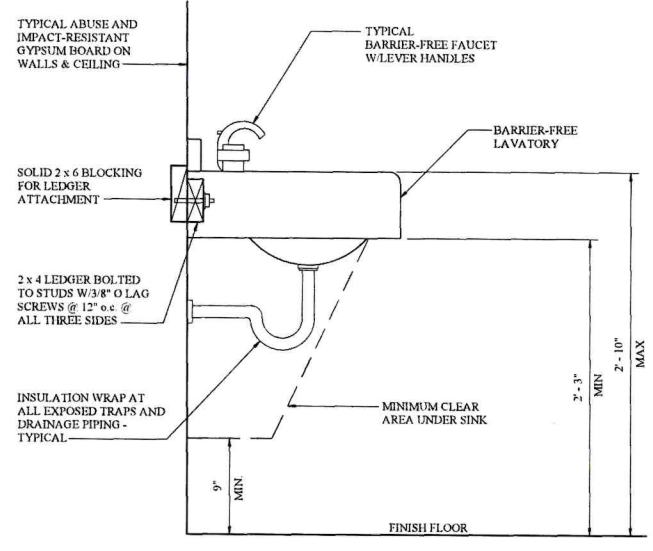
A20



5 TOILET PARTITION DETAILS
A21 3/8" = 1' 0"

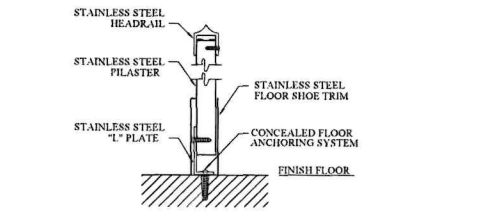


6 TYPICAL GRAB BAR DETAIL
A21 HALF SCALE

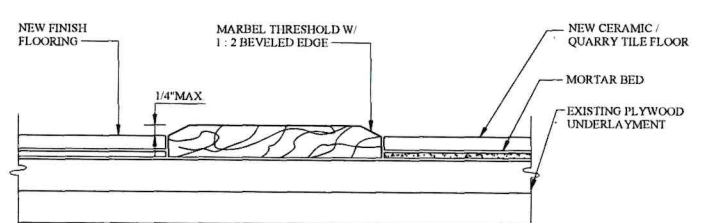


7 LAVATORY CLEARANCES DETAIL
A21 1 1/2" = 1' 0"

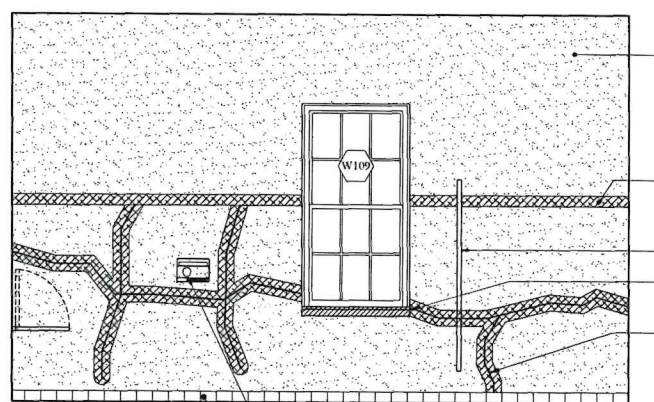
RESTROOM SCHEDULE	
FIXTURE	REMARKS
MIRROR	ONE (1) EACH RESTROOM 18" TYPE 304 NO. 18 GAUGE STAINLESS STEEL FRAME WITH MITERED CORNERS WELDED AND POLISHED. MOUNT MIRROR WITH BOTTOM EDGE OF REFLECTING SURFACE NO HIGHER THAN 40" ABOVE FINISHED FLOOR (AFF).
GRAB BARS	ADA COMPLIANT 1 1/2" DIAMETER STAINLESS STEEL PEENED SURFACE GRAB BARS. PROVIDE STAINLESS STEEL SNAP ON COVER OVER END FLANGE. GRAB BARS SHALL BE OF ADEQUATE STRENGTH TO SUPPORT A LOAD OF 250 POUNDS. REINFORCE WALL BEHIND AS REQUIRED. MOUNT BARS AS SHOWN ON DRAWINGS AND PER ANSI 117.3 2006.
TOILET PAPER HOLDER	ADA COMPLIANT SURFACE-MOUNTED DOUBLE ROLL TOILET TISSUE HOLDER FABRICATED OF CAST ALUMINUM WITH THEFT-RESISTANT DELIVERY SPINDLE. THE OUTLET OF THE DISPENSER SHALL BE LOCATED WITHIN AN AREA 24" MINIMUM AND 42" MAXIMUM FROM THE REAR WALL. THE OUTLET OF THE DISPENSER SHALL ALSO BE LOCATED 18" MINIMUM AND 48" MAXIMUM AFF.
TOILET PARTITIONS	PHENOLIC-CORE TOILET PARTITIONS/COMPARTMENTS TO CONFIGURATIONS SHOWN. ALL HARDWARE SHALL BE STAINLESS STEEL WITH CHROME OR SATIN FINISH AS PER MANUFACTURER.
BABY CHANGING STATION	ADA COMPLIANT BABY-CHANGING STATION FABRICATED OF HIGH-IMPACT RESISTANT PLASTIC. SANITARY DISPOSABLE LINERS SHALL BE ACCOMMODATED IN DISPENSING COMPARTMENT. MOUNT UNIT SO THAT BOTTOM IS 27" AFF. PROVIDE HORIZONTAL STATION UNIT.
LAVATORY	UNDERCOUNTER LAVATORY SINK WITH INTEGRAL COUNTER INCLUDING RECESSED WASTE RECEPTACLE (UNDERCOUNTER) AND SOAP DISPENSERS WITH EACH LAVATORY. FAUCETS SHALL BE MOEN DELTA OR EQUAL WITH CHROME OR SATIN WITH STAINLESS STEEL FITTINGS.
SANITARY NAPKIN HOLDER (WOMEN'S ROOM ONLY)	STAINLESS STEEL SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL CONSTRUCTED OF 22-GAUGE, TYPE 304 STAINLESS STEEL WITH SATIN FINISH. CORNERS OF UNIT SHALL BE CONTOURED. ONE-PIECE COVER SHALL BE EQUIPPED WITH FULL-LENGTH STAINLESS STEEL PIANO HINGE.
CLOTHES HOOK	HEAVY DUTY #11 GAUGE TYPE 304 STAINLESS STEEL WITH CHROME OR SATIN FINISH CLOTHES HOOK. SET TO BACK OF TOILET PARTITION.
HAND DRYER	HARD-WIRED 12.5 AMP, 120 VOLT, 60 HZ, 1500 W, 5/8 HP, 20,000 RPM AUTOMATIC HAND DRYER WITH A DRY TIME OF 10 SECS OR LESS. COVER AND WALL PLATE SHALL BE METAL. INSTALL PER ADA REQUIREMENTS.



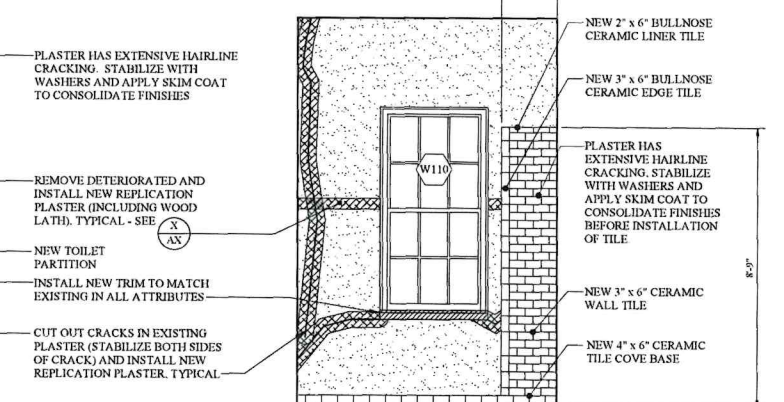
3 HEADRAIL & SHOE DETAIL
A21 3/8" = 1' 0"



4 BARRIER-FREE THRESHOLD DETAIL
A21 HALF SCALE

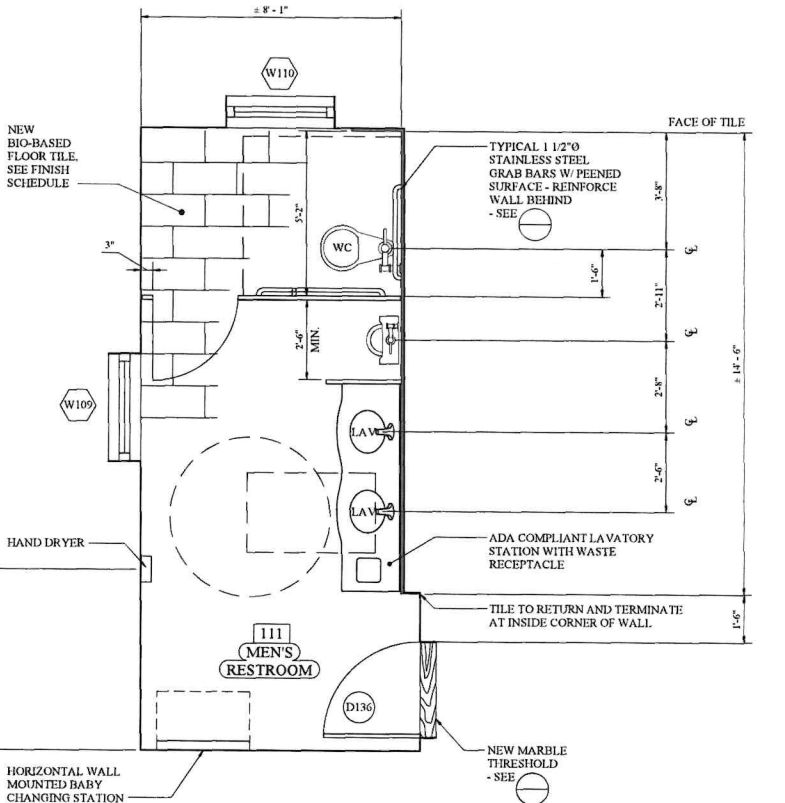


B EAST



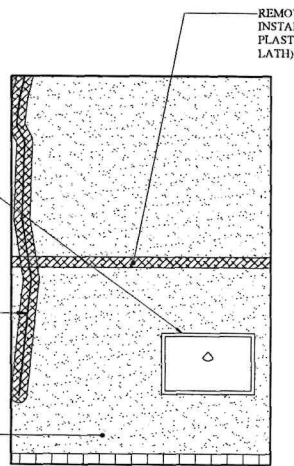
C SOUTH

- NOTES:
- SEE PLUMBING DRAWINGS FOR FIXTURES AND FITTINGS
 - SEE MECHANICAL DRAWINGS FOR EXHAUST FANS AND DUCTWORK
 - COORDINATE ALL REQUIREMENTS WITH ELECTRICAL DRAWINGS
 - REFER TO ACCESSIBLE RESTROOM LAYOUT REQUIREMENTS FOR TYPICAL MOUNTING HEIGHTS AND CLEARANCES - SEE

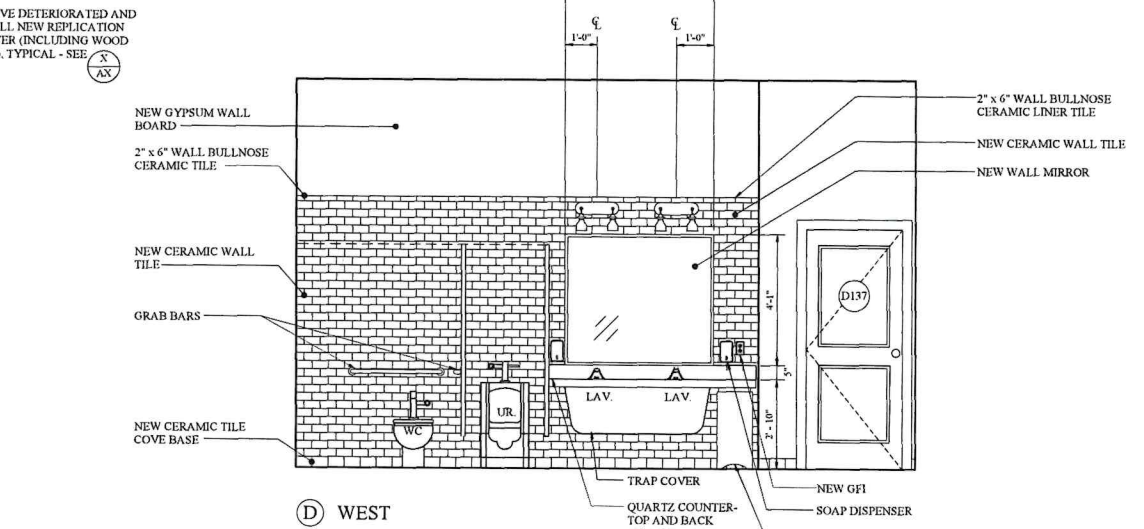


PLAN

1 ACCESSIBLE MEN'S RESTROOM PLAN
A21 3/8" = 1' 0"

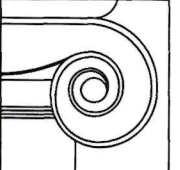


A NORTH



D WEST

2 ACCESSIBLE MEN'S RESTROOM ELEVATIONS
A21 3/8" = 1' 0"



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NJ 21A1018244500

PROJECT No.: 2016C
DATE: 08 AUGUST 2022
REVISIONS:

DRAWN BY: MS, TJ, CB, PK

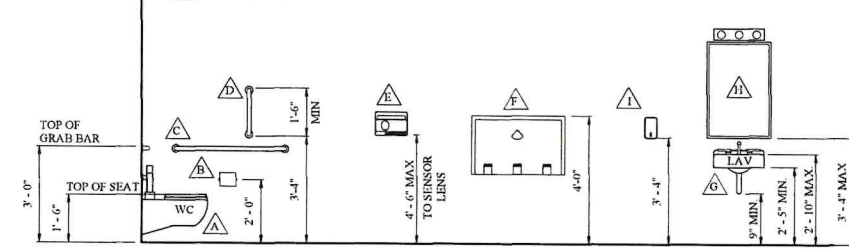
RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A21

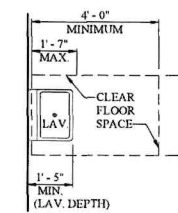
RESTROOM SCHEDULE	
FIXTURE	REMARKS
MIRROR	ONE (1) EACH RESTROOM: 18-8 TYPE 304 NO. 18 GAUGE STAINLESS STEEL FRAME WITH MITERED CORNERS WELDED AND POLISHED. MOUNT MIRROR WITH BOTTOM EDGE OF REFLECTING SURFACE NO HIGHER THAN 40" ABOVE FINISHED FLOOR (AFF).
GRAB BARS	ADA COMPLIANT 1 1/2" DIAMETER STAINLESS STEEL PEENED SURFACE GRAB BARS. PROVIDE STAINLESS STEEL SNAP ON COVER OVER END FLANGE. GRAB BARS SHALL BE OF ADEQUATE STRENGTH TO SUPPORT A LOAD OF 250 POUNDS. REINFORCE WALL BEHIND AS REQUIRED. MOUNT BARS AS SHOWN ON DRAWINGS AND PER ANSI 117.3 2006.
TOILET PAPER HOLDER	ADA COMPLIANT SURFACE-MOUNTED DOUBLE ROLL TOILET TISSUE HOLDER FABRICATED OF CAST ALUMINUM WITH THEFT-RESISTANT DELIVERY SPINDLE. THE OUTLET OF THE DISPENSER SHALL BE LOCATED WITHIN AN AREA 24" MINIMUM AND 42" MAXIMUM FROM THE REAR WALL. THE OUTLET OF THE DISPENSER SHALL ALSO BE LOCATED 18" MINIMUM AND 48" MAXIMUM AFF.
TOILET PARTITIONS	PHENOLIC-CORE TOILET PARTITIONS/COMPARTMENTS TO CONFIGURATIONS SHOWN. ALL HARDWARE SHALL BE STAINLESS STEEL WITH CHROME OR SATIN FINISH AS PER MANUFACTURER.
BABY CHANGING STATION	ADA COMPLIANT BABY-CHANGING STATION FABRICATED OF HIGH-IMPACT RESISTANT PLASTIC. SANITARY DISPOSABLE LINERS SHALL BE ACCOMMODATED IN DISPENSING COMPARTMENT. MOUNT UNIT SO THAT BOTTOM IS 27" AFF. PROVIDE HORIZONTAL STATION UNIT.
LAVATORY	UNDERCOUNTER LAVATORY SINK WITH INTEGRAL COUNTER INCLUDING RECESSED WASTE RECEPTACLE (UNDERCOUNTER) AND SOAP DISPENSERS WITH EACH LAVATORY. FAUCETS SHALL BE MOEN, DELTA OR EQUAL WITH CHROME OR SATIN WITH STAINLESS STEEL FITTINGS.
SANITARY NAPKIN HOLDER (WOMEN'S ROOM ONLY)	STAINLESS STEEL SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL CONSTRUCTED OF 22-GAUGE, TYPE 304 STAINLESS STEEL WITH SATIN FINISH. CORNERS OF UNIT SHALL BE CONToured. ONE-PIECE COVER SHALL BE EQUIPPED WITH FULL-LENGTH STAINLESS STEEL HINGE.
CLOTHES HOOK	HEAVY DUTY #11 GAUGE TYPE 304 STAINLESS STEEL WITH CHROME OR SATIN FINISH CLOTHES HOOK. SET TO BACK OF TOILET PARTITION DOORS.
HAND DRYER	HARD-WIRED, 12.5 AMP, 120 VOLT, 60 HZ, 1500 W, 5/8 HP, 20,000 RPM AUTOMATIC HAND DRYER WITH A DRY TIME OF 10 SECS OR LESS. COVER AND WALL PLATE SHALL BE METAL. INSTALL PER ADA REQUIREMENTS.

FIXTURE AND ACCESSORY KEY

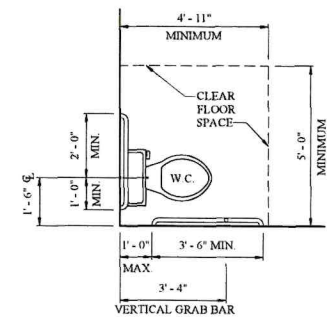
- △ WATER CLOSET
- △ TOILET PAPER HOLDER
- △ HORIZONTAL GRAB BAR
- △ VERTICAL GRAB BAR
- △ HAND DRYER
- △ BABY CHANGING TABLE
- △ LAVATORY
- △ MIRROR
- △ SOAP DISPENSER



(A) TYPICAL HEIGHTS



(B) @ LAVATORY

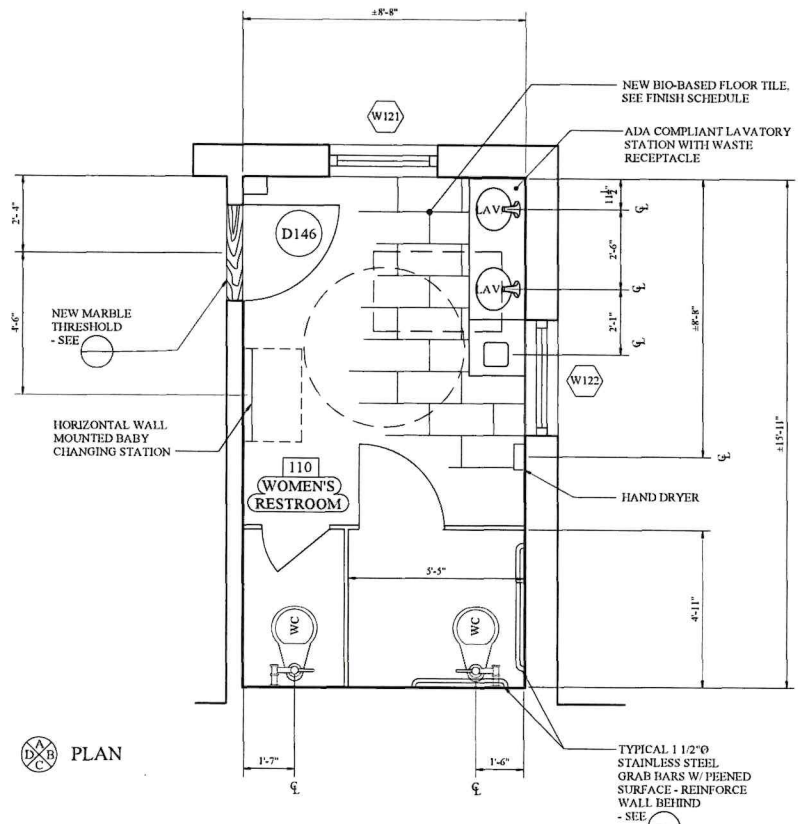


(C) @ WATER CLOSET

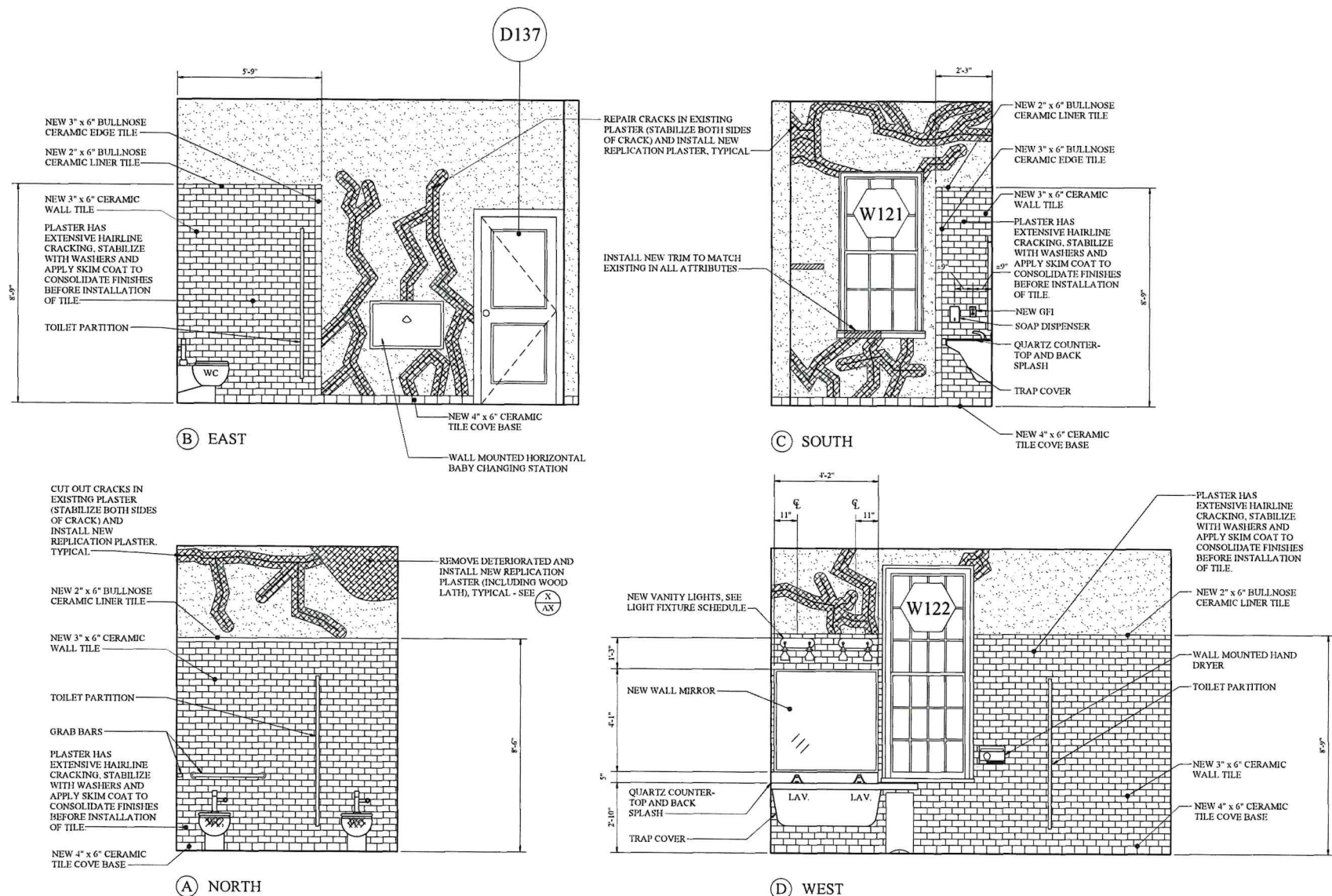
3 BARRIER-FREE RESTROOM CLEARANCES DETAIL

N T S

- NOTES:**
- SEE PLUMBING DRAWINGS FOR FIXTURES AND FITTINGS.
 - SEE MECHANICAL DRAWINGS FOR EXHAUST FANS AND DUCTWORK.
 - COORDINATE ALL REQUIREMENTS WITH ELECTRICAL DRAWINGS.
 - REFER TO ACCESSIBLE RESTROOM LAYOUT REQUIREMENTS FOR TYPICAL MOUNTING HEIGHTS AND CLEARANCES - SEE



(A) PLAN



(B) EAST

(C) SOUTH

(A) NORTH

(D) WEST

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 NJ 21A1018244500

PROJECT No.: 2016C
 DATE: 08 AUGUST 2022

REVISIONS:

DRAWN BY: MS, TJ, CB, PK

**RESTORATION AND REHABILITATION
 WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY**

DOOR REPAIR SCHEDULE

DOOR NO	DOOR TYPE	MATERIAL	SIZE	FRAME REPAIRS	DOOR REPAIRS	APPLICABLE RATING	GLAZING	HARDWARE SET NO.	REMARKS
BASEMENT									
D021	I	STEEL	±2'-8" x ±6'-8"	NEW STEEL FRAME	NEW STEEL DOOR	20 MIN. RATED	-	7	NEW FIRE RATED DOOR, FRAME, HARDWARE AND GASKETING
D022	I	STEEL	±2'-10" x ±6'-8"	NEW STEEL FRAME	NEW STEEL DOOR	20 MIN. RATED	-	7	NEW FIRE RATED DOOR, FRAME, HARDWARE AND GASKETING
FIRST FLOOR									
D101	A	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	4	
D111	C	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	4	
D120	B	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	4	
D133	F	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	5	
D133	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	5	
D134	E	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	6	
D135	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	6	
D136	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	6	
D137	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	NO LITE	3	
D138	G	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	5	
D139	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	1	
D140	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	1	
D141	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	1	
D142	G	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	TEMPERED GLAZING	5	
D143	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	1	
D144	D	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT ALL SIX SIDES OF DOOR	-	NEW TEMPERED LITES. INSTALL NEW GLAZING PUTTY.	1	
D145	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	TEMPERED GLAZING	1	
D146	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	NO LITE	3	
D146A	H	WOOD	2'-9"	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	EXISTING DOOR TO BE FIXED. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT	-	REPLACE LITE WITH WOOD PANEL. PRIME AND 2-COAT FINISH PAINT	N/A	EXISTING DOOR TO BE FIXED IN PLACE FROM BEHIND. NO HARDWARE. EPOXY REPAIR HOLES IN DOOR.
D149	H	WOOD	SEE TYPE	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT TRIM AND FRAME	-	-	1	
D158	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	NO LITE	2	
D159	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	NO LITE	2	
D160	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	NO LITE	2	
D161	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	TEMPERED GLAZING	1	
D162	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	NO LITE	2	
D163	H	WOOD	SEE TYPE	NEW WOOD FRAME, PRIME AND 2-COAT FINISH PAINT	NEW WOOD DOOR, PRIME AND 2-COAT FINISH PAINT	-	TEMPERED GLAZING	2	

DOOR REPAIR NOTES:

- RESTORE ALL DOORS TO PERMIT SMOOTH AND EASY OPERATION.
- REPAIR WOOD FRAME AS INDICATED IN SCHEDULE. REMOVE DOORS & REPAIR OFF-SITE WHEN REQUIRED.
- DUTCHMAN REPAIR AT ALL LOSSES LARGER THAN TWO INCHES IN ANY DIMENSION.
- EPOXY REPAIR FOR FILLING LOSS AND VOIDS TWO INCHES OR SMALLER.
- AT WOOD DOORS TO BE RESTORED, REMOVE ALL GLAZING COMPOUND (RETAIN EXISTING GLASS) AND INSTALL NEW LINSEED OIL GLAZING PUTTY.
- AT DOORS TO BE RESTORED, REMOVE PAINT, AND MAKE ALL EXISTING HARDWARE OPERABLE.
- RAKE JOINT BETWEEN WOOD FRAME AND MASONRY. INSTALL NEW SEALANT. TYPICAL AT ALL DOOR OPENINGS.
- SURFACE PREPARE, APPLY PRIMER AND TWO (2) COATS FINISH PAINT TO ALL EXTERIOR AND INTERIOR (SURFACES) OF DOORS AND FRAMES.
- ALL DOORS SHALL BE FITTED WITH DOOR STOPS. ORDER OF PRIORITY FOR INSTALLATION: AT WALL, AT FLOOR, AT DOOR (ON HINGE). REVIEW CONDITIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- ALLOW FOR 3 CU. IN. OF EPOXY REPAIR PER DOOR AND A TOTAL OF 10 SF OF WOOD DUTCHMAN REPAIR AT THE DOORS.

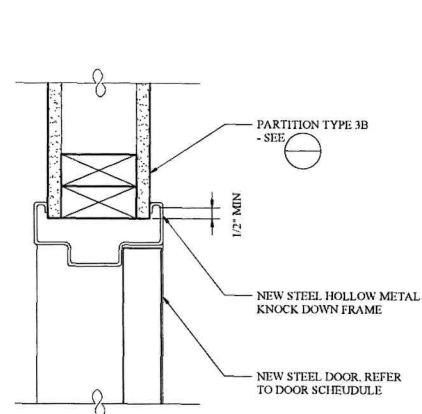
DOOR HARDWARE SCHEDULE

HARDWARE SET NO. 1				HARDWARE SET NO. 2			
ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH	ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH
HINGE	3	BUTT SECURITY HINGE SET	BRASS	HINGE	3	BUTT SECURITY HINGE SET	BRASS
LOCKSET	1	CLASSROOM	BRASS	LOCKSET	1	STOREROOM	BRASS
HANDLE SET	1	LEVER HANDLE	BRASS	HANDLE SET	1	LEVER HANDLE	BRASS
LATCH	1	POSITIVE	-	LATCH	1	POSITIVE	-
EXIT DEVICE	-	-	-	EXIT DEVICE	-	-	-
EXIT DEVICE TRIM	-	-	-	EXIT DEVICE TRIM	-	-	-
COORDINATOR	-	-	-	COORDINATOR	-	-	-
CLOSER	1	PARALLEL ARM WITH COVER AND BUILT-IN DOOR STOP	BRASS	CLOSER	-	-	-
THRESHOLD	-	-	-	THRESHOLD	1	VINYL THRESHOLD	-
DOOR STOP	-	CLOSER TO LIMIT DOOR FROM OVER EXTENDING	-	DOOR STOP	1	FLOOR STOP	BRASS
OTHER/MISC.	-	-	-	OTHER/MISC.	-	-	-

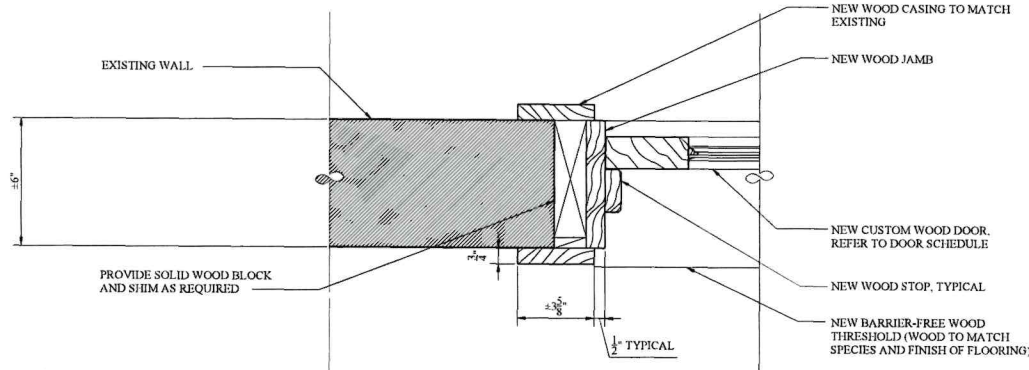
HARDWARE SET NO. 3				HARDWARE SET NO. 4			
ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH	ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH
HINGE	3	BUTT SECURITY HINGE SET	BRASS	HINGE	6	BUTT SECURITY HINGE SET	BRASS
LOCKSET	1	PASSAGE	BRASS	LOCKSET	2	ENTRANCE	BRASS
HANDLE SET	1	LEVER HANDLE	BRASS	HANDLE SET	2	LEVER HANDLE AT EXTERIOR SIDE, INTEGRAL WITH PANIC HARDWARE AT INTERIOR.	BRASS
LATCH	1	POSITIVE	-	LATCH	2	POSITIVE	-
EXIT DEVICE	-	-	-	EXIT DEVICE	2	SURFACE MOUNTED VERTICAL ROD WITH CROSSBAR	BRASS
EXIT DEVICE TRIM	-	-	-	EXIT DEVICE TRIM	2	HANDLE SET WITH CYLINDER AND TUBIN PRESS	BRASS
COORDINATOR	-	-	-	COORDINATOR	-	-	-
CLOSER	1	PARALLEL ARM WITH COVER AND BUILT-IN DOOR STOP	BRASS	CLOSER	2	PARALLEL ARM WITH COVER AND BUILT-IN DOOR STOP	BRASS
THRESHOLD	1	MARBLE THRESHOLD, ADA COMPLIANT-SEE	-	THRESHOLD	2	NEW METAL, ADA COMPLIANT	-
DOOR STOP	-	CLOSER TO LIMIT DOOR FROM OVER EXTENDING	-	DOOR STOP	-	CLOSER TO LIMIT DOOR FROM OVER EXTENDING	-
OTHER/MISC.	2	PROVIDE 1" KICK PLATES, EACH SIDE	BRASS VESTIBULE SIDE, CHROME BATHROOM SIDE	OTHER/MISC.	2	PROVIDE WEATHERSTRIPPING AT JAMBS, HEAD AND SILL. PROVIDE 1" KICK PLATES ON INTERIOR SIDE.	BRASS

HARDWARE SET NO. 5				HARDWARE SET NO. 6			
ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH	ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH
HINGE	6	3 PER LEAF, BUTT SECURITY HINGE SET	BRASS	HINGE	3	BUTT SECURITY HINGE SET	BRASS
LOCKSET	2	PASSAGE	BRASS	LOCKSET	1	CLASSROOM	BRASS
HANDLE SET	2	LEVER HANDLE	BRASS	HANDLE SET	1	LEVER HANDLE	BRASS
LATCH	2	POSITIVE WITH FLUSH BOLT	-	LATCH	1	POSITIVE	-
EXIT DEVICE	2	SURFACE MOUNTED VERTICAL ROD WITH CROSSBAR	BRASS	EXIT DEVICE	1	SURFACE MOUNTED VERTICAL ROD WITH CROSSBAR	BRASS
EXIT DEVICE TRIM	2	LEVER HANDLE	BRASS	EXIT DEVICE TRIM	1	LEVER HANDLE	BRASS
COORDINATOR	1	AS PART OF PANIC EXIT DEVICE	-	COORDINATOR	-	-	-
CLOSER	2	PARALLEL ARM WITH COVER AND BUILT-IN DOOR STOP	BRASS	CLOSER	1	PARALLEL ARM WITH COVER AND BUILT-IN DOOR STOP	BRASS
THRESHOLD	-	-	-	THRESHOLD	1	VINYL THRESHOLD, ADA COMPLIANT-SEE	-
DOOR STOP	-	CLOSER TO LIMIT DOOR FROM OVER EXTENDING	-	DOOR STOP	-	CLOSER TO LIMIT DOOR FROM OVER EXTENDING	-
OTHER/MISC.	2	PROVIDE 1" KICK PLATES ON EACH SIDE	BRASS	OTHER/MISC.	-	-	-

HARDWARE SET NO. 7				HARDWARE SET NO. - NOT USED			
ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH	ITEM TYPE	QUANTITY	ITEM DESCRIPTION	FINISH
HINGE	3	STEEL BALL BEARING HINGES	-	HINGE	-	-	-
LOCKSET	1	CLASSROOM	-	LOCKSET	-	-	-
HANDLE SET	1	LEVER HANDLE	-	HANDLE SET	-	-	-
LATCH	1	POSITIVE	-	LATCH	-	-	-
EXIT DEVICE	-	-	-	EXIT DEVICE	-	-	-
EXIT DEVICE TRIM	-	-	-	EXIT DEVICE TRIM	-	-	-
COORDINATOR	-	-	-	COORDINATOR	-	-	-
CLOSER	1	PARALLEL ARM WITH COVER AND BUILT-IN DOOR STOP	-	CLOSER	-	-	-
THRESHOLD	-	-	-	THRESHOLD	-	-	-
DOOR STOP	-	CLOSER TO LIMIT DOOR FROM OVER EXTENDING	-	DOOR STOP	-	-	-
OTHER/MISC.	-	-	-	OTHER/MISC.	-	-	-

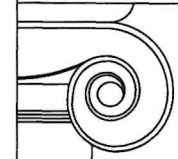


1 HEAD/SIDE JAMB DETAIL
A23 3" = 1' 0"



2 DOOR BUCK DETAIL
A23 3" = 1' 0"

NOTE:
PROVIDE SHOP DRAWINGS FOR BOTH THE NEW FRAME AND NEW DOOR SHOWING RELATIONSHIP TO EXISTING CONDITIONS (FIELD VERIFY ALL EXISTING CONDITIONS AS PART OF SUBMITTAL PROCESS)



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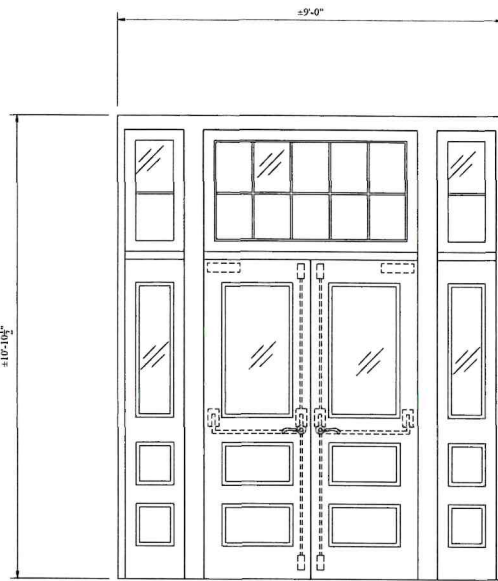
PROJECT No. 2016C
DATE: 08 AUGUST 2022

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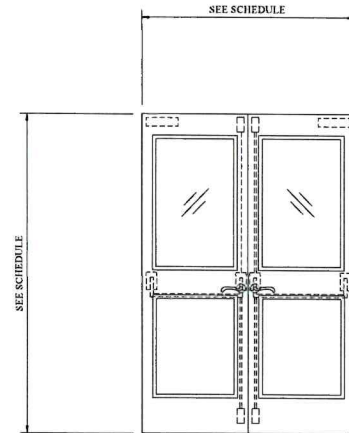
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RESTORATION AND REHABILITATION
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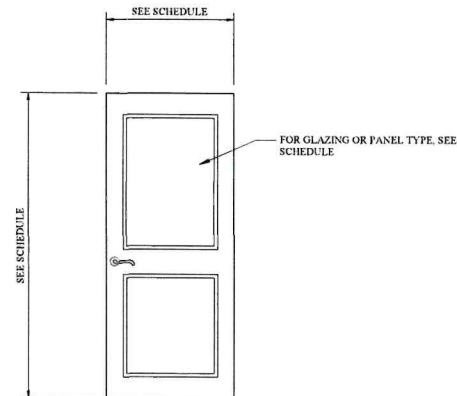
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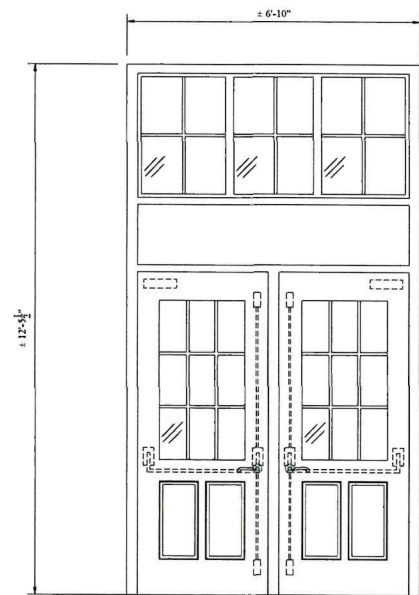
TYPE F
EXISTING EXTERIOR
D132



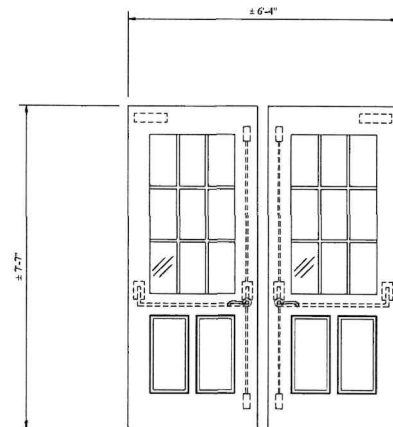
TYPE G
NEW INTERIOR
D142



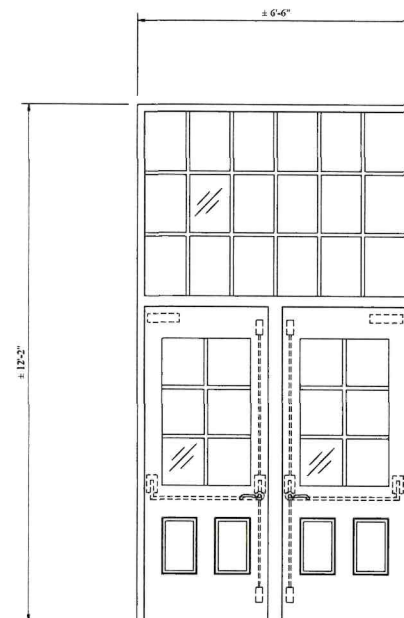
TYPE H
NEW INTERIOR
D137 D140 D143 D146 D149
D158 D160 D161 D162 D163



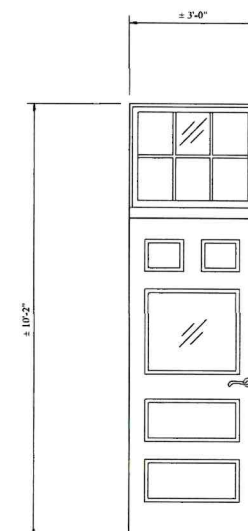
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D101



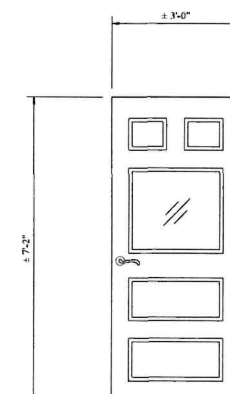
TYPE B
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D120



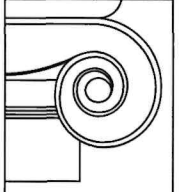
TYPE C
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D111



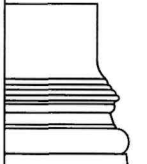
TYPE D
EXISTING INTERIOR
D135 D136 D139 D141 D143
D144



TYPE E
EXISTING INTERIOR
D133 D134



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PROJECT No.: 2016C

DATE: 08 AUGUST 2022

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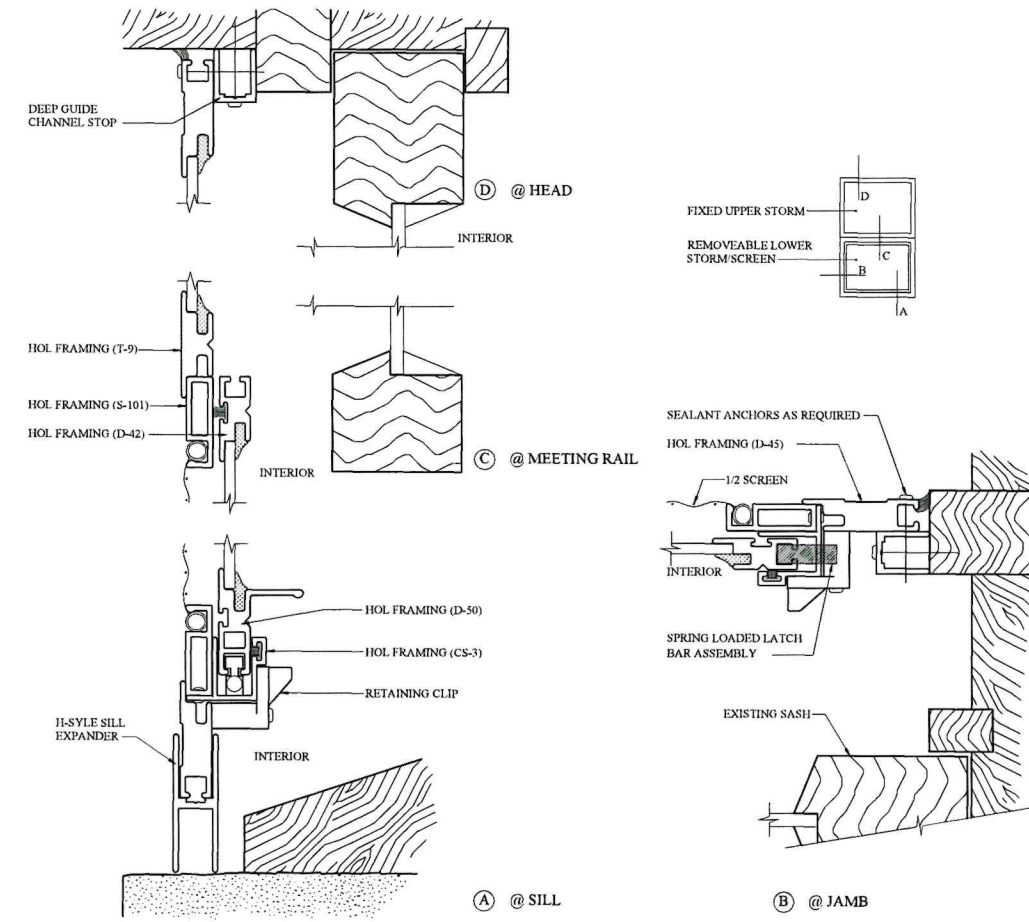
RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

WINDOW REPAIR SCHEDULE

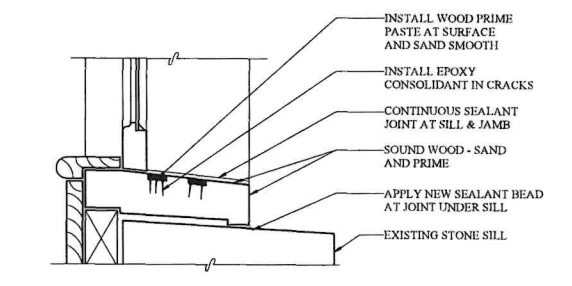
BASEMENT							
TAG	TYPE/DESCRIPTION	SIZE	FRAME REPAIRS	SASH REPAIRS	GLAZING	HARDWARE	REMARKS
W001	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W002	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W003	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W005	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W007	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W008	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	NEW TEMPERED GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W009	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	NEW TEMPERED GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W010	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	NEW TEMPERED GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W011	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	NEW TEMPERED GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W012	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W013	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W014	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W015	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W016	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W017	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W018	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W019	EXISTING G	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W020	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W021	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W022	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W023	EXISTING A	±2'-8" x ±4'-0"	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SILL. PRIME AND 2-COAT FINISH PAINT THE INTERIOR AND EXTERIOR.	ALLOW FOR MINOR DUTCHMAN AND EPOXY REPAIRS OF SASH. THOROUGHLY SURFACE PREPARE, PRIME, AND 2-COAT FINISH PAINT SASH.	LIGHT RESTORATION GLASS WITH LINSEED OIL GLAZING PUTTY.		NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.
W024	NEW A	±2'-8" x ±4'-0"				HINGES AND HOPPER LOCK	NEW SEALANT BETWEEN TRIM AND BRICK. NEW EXTERIOR STORM WINDOW AND INSECT SCREEN - SEE DETAIL.

WINDOW REPAIR NOTES:

- RESTORE ALL WINDOWS TO PERMIT SMOOTH AND EASY OPERATION.
 - REPAIR WOOD FRAMES AND SASHES AS INDICATED IN SCHEDULE. REMOVE SASHES AND REPAIR OFF-SITE WHEN REQUIRED.
 - DUTCHMAN REPAIR AT ALL LOSSES LARGER THAN TWO INCHES IN ANY DIMENSION.
 - EPOXY REPAIR FOR FILLING LOSS AND VOIDS TWO INCHES OR SMALLER.
 - AT WINDOWS TO BE RESTORED, REMOVE ALL GLAZING COMPOUND (RETAIN EXISTING GLASS) AND INSTALL NEW LINSEED OIL GLAZING PUTTY.
 - AT WINDOWS TO BE RESTORED, REMOVE PAINT, AND MAKE ALL EXISTING HARDWARE OPERABLE.
 - RAKE JOINT BETWEEN WOOD FRAME AND MASONRY. INSTALL NEW SEALANT. TYPICAL AT ALL WINDOW AND DOOR OPENINGS.
 - SURFACE PREPARE. APPLY PRIMER AND TWO (2) COATS FINISH PAINT TO ALL EXTERIOR AND INTERIOR (SURFACES) OF SASH & FRAMES.
- ALLOWANCES:
- ALLOW FOR TEN (10) ADDITIONAL GLASS PANE (4" X 12") REPLACEMENTS IN-KIND USING RESTORATION GLASS. (IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE CARE WHEN REMOVING GLAZING PUTTY SO THAT GLASS IS NOT BROKEN)
 - ALLOW FOR 3 CU. IN. OF EPOXY REPAIR PER WINDOW AND A TOTAL OF 30 LF OF WOOD DUTCHMAN REPAIR AT THE WINDOWS.



2 EXTERIOR STORM WINDOW DETAILS



1 WINDOW SILL REPAIR DETAIL

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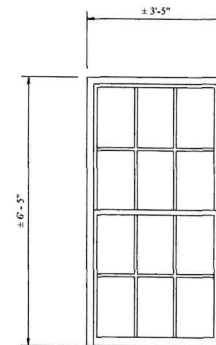
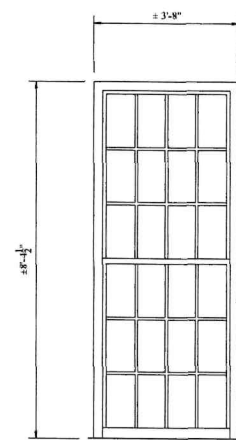
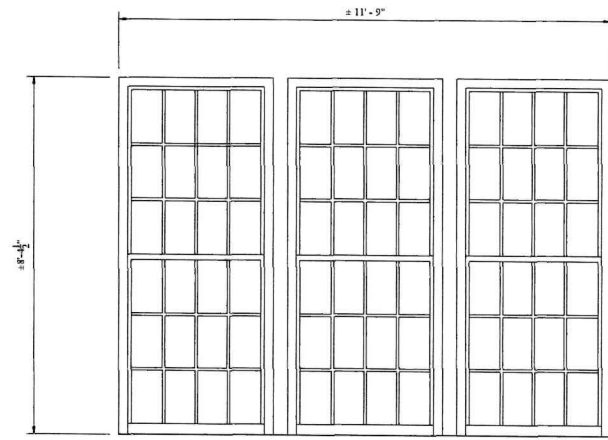
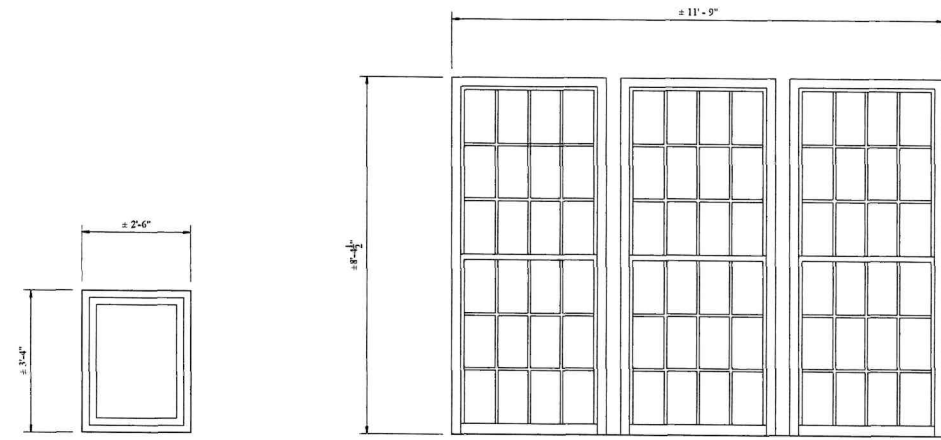
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PROJECT No.: 2016C
DATE: 08 AUGUST 2022
REVISIONS:

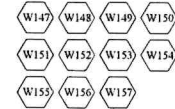
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BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

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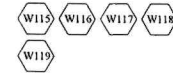
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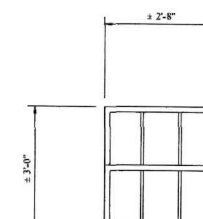
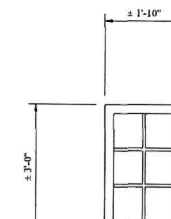
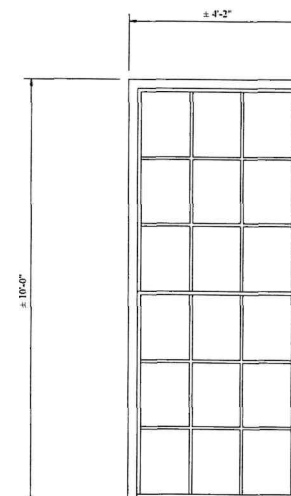
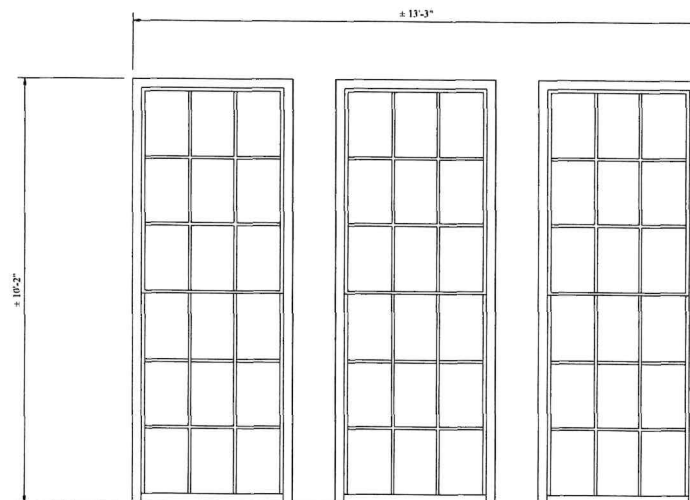
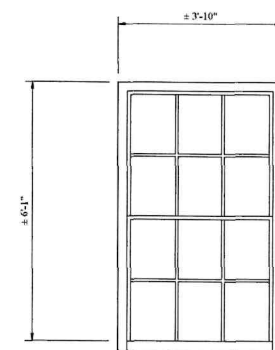
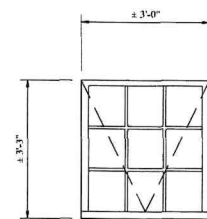
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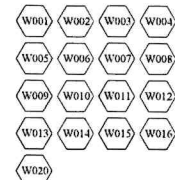
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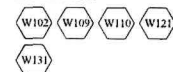
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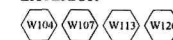
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TYPE B
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TYPE C
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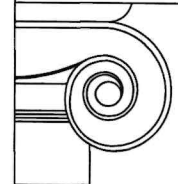
TYPE D
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TYPE E
EXTERIOR



TYPE F
EXTERIOR



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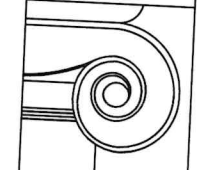
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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	SURFACE	MATERIAL	FINISHES / REMARKS
001	ENTRY	FLOOR - BOTTOM LANDING	EXISTING CONCRETE	
		FLOOR - TOP LANDING	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
001A	MECHANICAL ROOM	CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		FLOOR	VINYL SOLID SHEET FLOORING	
		WALLS	EXISTING PLASTER WALLS AND NEW 5/8" GYPSUM WALLBOARD - TAPE, SPACKLE AND SAND	SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE	4" RUBBER WALL BASE	
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
002	VESTIBULE	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
100	HALL	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING WOOD	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
100A	JANITOR'S CLOSET	FLOOR	VINYL SOLID SHEET FLOORING	
		WALLS	EXISTING PLASTER AND NEW 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD - TAPE, SPACKLE AND SAND	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
101	COMMUNITY 1	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
102	COMMUNITY 2	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
103	COMMUNITY 3	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
104	COMMUNITY 4	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
104A	CLOSET	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER AND NEW 5/8" GYPSUM WALLBOARD - TAPE, SPACKLE AND SAND	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
105	COMMUNITY 5	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
106	RECEPTION / OFFICE	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD AND NEW WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD AND NEW WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
107	OFFICE	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
108	CATERING KITCHEN	FLOOR	NEW 6" x 6" QUARRY TILE OVER SCHLUTER-KERDI WATERPROOF MEMBRANE (OR APPROVED EQUAL)	
		WALLS	NEW 5/8" GYPSUM WALLBOARD, TAPE, SPACKLE, PRIME AND 2-COAT FINISH PAINT. APPLY NEW FRP PANELS TO 4 FOOT WAINSCOT HEIGHT. COVER PANELS WITH PLASTIC COVERS PROVIDED BY FRP PANEL MANUFACTURER.	PRIME AND 2-COAT FINISH PAINT GYPSUM WALLBOARD FINISHES PROVIDE COLOR SAMPLES FOR FRP PANEL FOR ARCHITECT SELECTION
		BASE	NEW 6" x 6" SANITARY QUARRY TILE COVE BASE TO MATCH FLOOR TILE	
		TRIM	EXISTING WOOD AND NEW WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
108A	CLOSET	FLOOR	VINYL SOLID SHEET FLOORING	
		WALLS	EXISTING PLASTER AND NEW 5/8" GYPSUM WALLBOARD - TAPE, SPACKLE AND SAND	
		BASE	NEW 4" RUBBER BASE	
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
109	VESTIBULE	FLOOR	NEW OAK STRIP WOOD FLOORING	SAND, SEAL, STAIN AND 3-COAT WATER-BASED POLYURETHANE
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		BASE AND CROWN	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		CEILING	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
110	WOMEN'S RESTROOM	FLOOR	12" x 24" BIO-BASED FLOOR TILE	
		WALLS	EXISTING PLASTER AND NEW 5/8" WATER RESISTANT GYPSUM WALLBOARD - TAPE, SPACKLE AND SAND, 3" x 6" CERAMIC WALL TILE WITH 2" x 6" BULLNOSE TILE LINER, WHERE INDICATED ON ELEVATIONS.	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT. DALTILE OR APPROVED EQUAL.
		BASE	4" x 6" CERAMIC TILE COVE BASE	DALTILE OR APPROVED EQUAL
		CROWN	EXISTING WOOD AND NEW WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
		TRIM	EXISTING WOOD	REPAIR AS INDICATED ON ELEVATIONS SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.
111	MEN'S RESTROOM	FLOOR	12" x 24" BIO-BASED FLOOR TILE	
		WALLS	EXISTING PLASTER	REPAIR AS INDICATED ON REFLECTED CEILING PLAN. SURFACE PREPARE, PRIME AND 2-COAT FINISH PAINT.



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 NJ 21A01824500
 PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

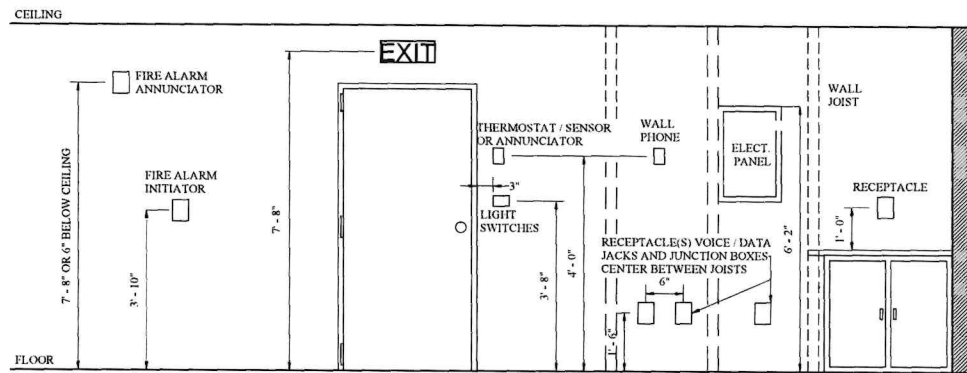
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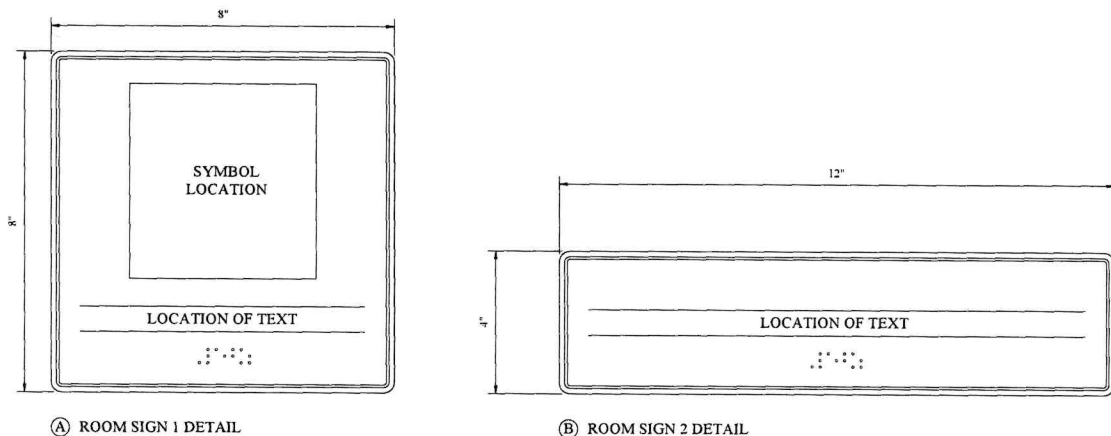
SIGNAGE SCHEDULE

ROOM NO.	ROOM NAME	SIGNAGE TYPE	SIGNAGE DESIGNATION	MOUNTING LOCATION
FIRST FLOOR				
001A	MECHANICAL ROOM 1	ROOM SIGN 2 DETAIL	MECHANICAL ROOM	ON DOOR
002	DOOR 021 TO BASEMENT	ROOM SIGN 2 DETAIL	STAFF ONLY	ON DOOR
101, 102	COMMUNITY 1 AND COMMUNITY 2 (WITHIN SPACE)	ROOM SIGN 2 DETAIL	COMMUNITY ROOM 1-2	TO RIGHT OF DOOR CORRIDOR SIDE
		MAXIMUM OCCUPANCY SIGN	MAXIMUM FIRE SAFETY OCCUPANCY - 150	TO LEFT OF DOOR, CLASSROOM SIDE
103	COMMUNITY 3 (WITHIN SPACE)	ROOM SIGN 2 DETAIL	COMMUNITY ROOM 3	TO RIGHT OF DOOR CORRIDOR SIDE
		MAXIMUM OCCUPANCY SIGN	MAXIMUM FIRE SAFETY OCCUPANCY - 28	TO LEFT OF DOOR, CLASSROOM SIDE
104	COMMUNITY 4 (WITHIN SPACE)	ROOM SIGN 2 DETAIL	COMMUNITY ROOM 4	TO RIGHT OF DOOR CORRIDOR SIDE
		MAXIMUM OCCUPANCY SIGN	MAXIMUM FIRE SAFETY OCCUPANCY - 26	TO LEFT OF DOOR, CLASSROOM SIDE
105	COMMUNITY 5 (WITHIN SPACE)	ROOM SIGN 2 DETAIL	COMMUNITY ROOM 5	TO RIGHT OF DOOR CORRIDOR SIDE
		MAXIMUM OCCUPANCY SIGN	MAXIMUM FIRE SAFETY OCCUPANCY - 26	TO LEFT OF DOOR, CLASSROOM SIDE
106, 107	RECEPTION OFFICE	ROOM SIGN 2 DETAIL	ADMINISTRATIVE OFFICE	TO LEFT OF DOOR, CORRIDOR SIDE
		MAXIMUM OCCUPANCY SIGN	MAXIMUM FIRE SAFETY OCCUPANCY - 3	TO LEFT OF DOOR, CLASSROOM SIDE
108	CATERING KITCHEN	ROOM SIGN 2 DETAIL	KITCHEN	TO RIGHT OF DOOR CORRIDOR SIDE
		MAXIMUM OCCUPANCY SIGN	MAXIMUM FIRE SAFETY OCCUPANCY - 10	TO LEFT OF DOOR, CLASSROOM SIDE
110	WOMEN RESTROOM	SIGN 1 DETAIL	INTERNATIONAL SYMBOLS FOR WOMEN AND FOR ACCESSIBILITY	TO LEFT OF DOOR, ENTRY HALL 2 SIDE
111	MEN RESTROOM	SIGN 1 DETAIL	INTERNATIONAL SYMBOLS FOR MEN AND FOR ACCESSIBILITY	TO RIGHT OF DOOR, VESTIBULE 2 SIDE

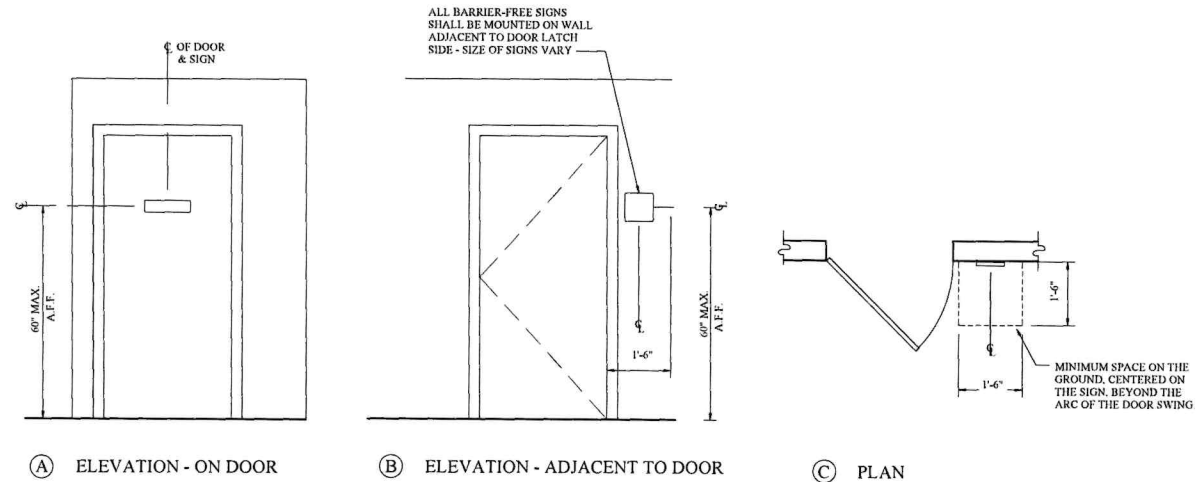
NOTE
 1. ALL SIGNS MUST COMPLY WITH THE N.J.U.C.C. BARRIER-FREE SUBCODE AND THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (U.F.A.S. - A.D.A.A.G.)
 2. SIGNS FOR DOORS SHALL BE MOUNTED ON THE DOOR, WITH THE BOTTOM MOST PART BEING 54" ABOVE FINISHED FLOOR (MIN) OR 66" AT FINISHED FLOOR MEASURED TO THE CENTERLINE OF THE UPPERMOST ROW OF CHARACTERS.
 3. LOCATE WALL MOUNTED SIGNS ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR (OR THE NEAREST ADJACENT WALL) AT 60" ABOVE FINISHED FLOOR FROM THE CENTERLINE OF THE SIGN (ANY SIZE) AND OUT OF THE SWING OF THE DOOR. MOUNT SIGNS WITH LATCH SIDE EDGE 4" FROM INSIDE FACE OF THE DOOR JAMB



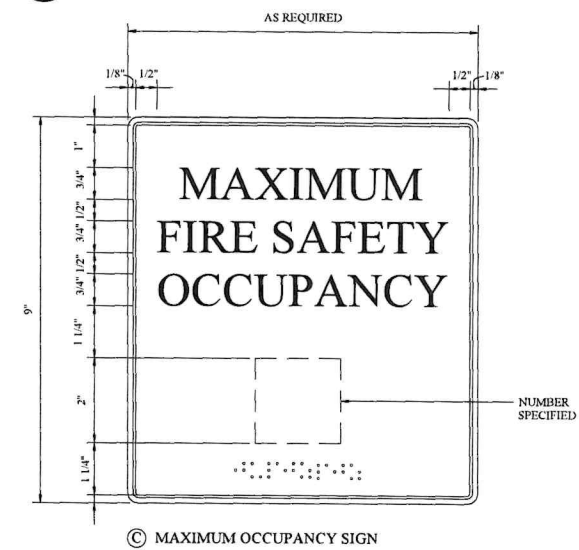
2 TYPICAL MOUNTING HEIGHTS



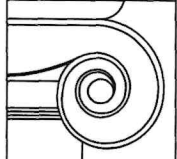
1 ROOM SIGN TYPE



3 ROOM SIGN PLACEMENT REQUIREMENTS



C MAXIMUM OCCUPANCY SIGN



CONNOLLY & HICKEY
 HISTORICAL ARCHITECTS, LLC
 P.O. Box 1726
 Centford, N.J. 07016
 973 746-4911

THOMAS B. CONNOLLY, AIA
 NJ 21A101699200
 PA RA403776
 MARGARET M. HICKEY, AIA
 NJ 21A1018244500

PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MS, TJ, CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

A29



PROFESSIONAL ENGINEERS

ADDRESS:

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CERTIFICATE OF AUTHORIZATION NO.

24GA28128300

PETER J. ARAGON

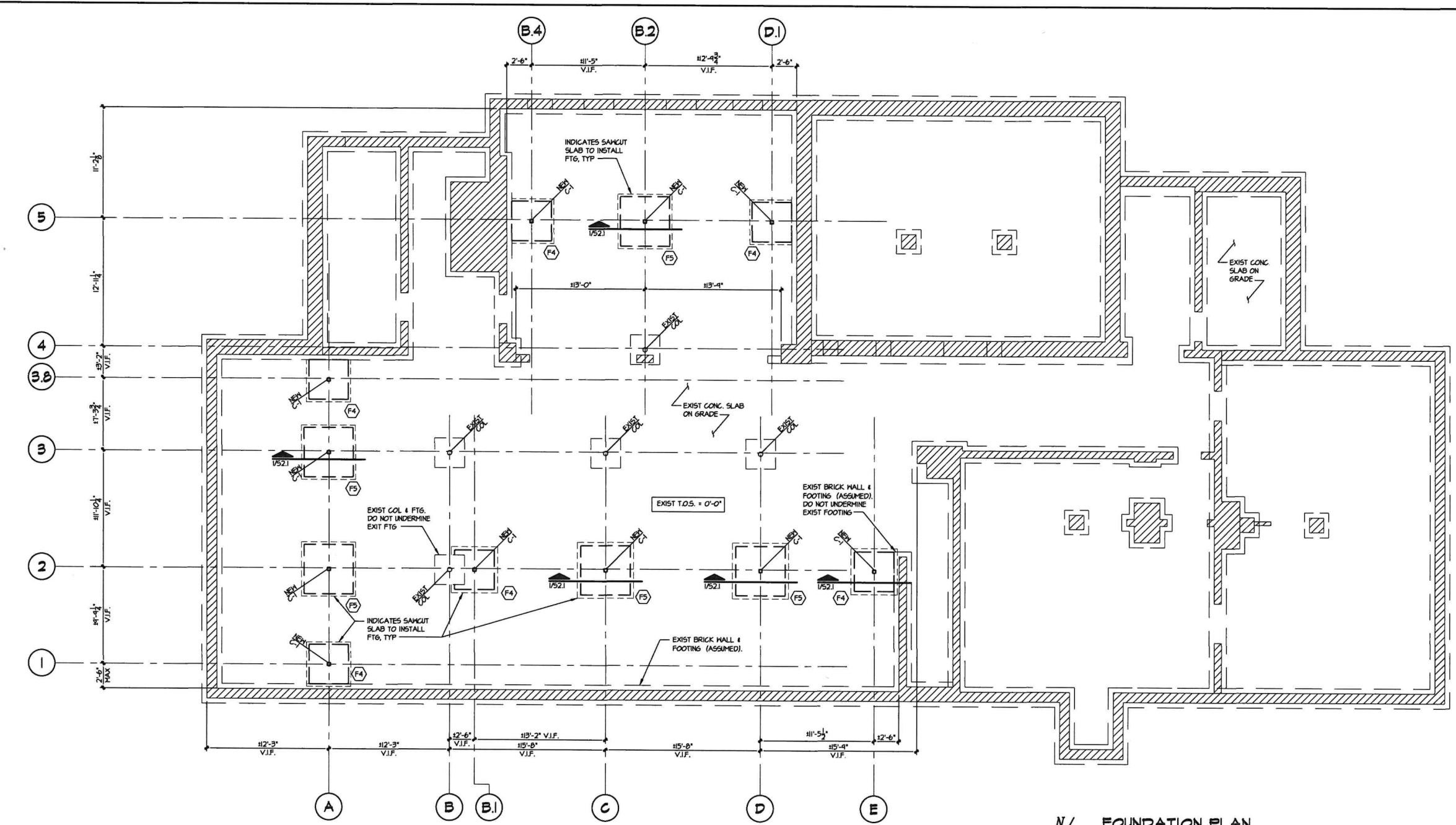
NEW JERSEY PROFESSIONAL ENGINEER

LICENSE NUMBER: 0E 51245

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREON CONSTITUTE MY ORIGINAL AND UNREPRODUCED WORK. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT MY WRITTEN PERMISSION IS PROHIBITED. THE PROFESSIONAL SEAL OF THIS ENGINEER IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT MY WRITTEN PERMISSION. THE PROFESSIONAL SEAL OF THIS ENGINEER IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT MY WRITTEN PERMISSION.

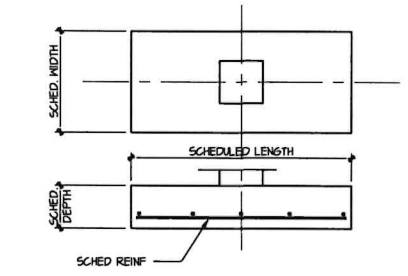
PROJECT TITLE:

INTERIOR RENOVATIONS & ALTERATIONS
FOR:
WILLIAM R. ALLEN SCHOOL
BURLINGTON, NJ



FOOTING SCHEDULE		
FOOTING MARK	DIMENSIONS	REINFORCING
(F4)	4'-0" x 4'-0" x 12"	(4) #5 EACH WAY
(F5)	5'-0" x 5'-0" x 16"	(5) #6 EACH WAY

COLUMN SCHEDULE	
C-1	H654x4x3/8"



1 FOOTING SCHEDULE

G.C. NOTE:
VERIFY ALL STEEL DIMENSIONS IN
FIELD PRIOR TO FABRICATION



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

- NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC) AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT. FAILURE TO NOTIFY ARCHITECT/ENGINEER OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
 2. G.C. IS RESPONSIBLE TO FIELD VERIFY EXIST DIMENSIONS AND MEMBER SIZE. CONTACT ENGINEER IMMEDIATELY WITH ANY SIGNIFICANT DIFFERENCES TYPICAL AT ALL FLOORS.
 3. PROVIDE TEMPORARY SHORING WHERE REQ'D TO MAINTAIN STABILITY.
 4. FOOTINGS SHALL BEAR ON VIRGIN SOIL OR CONTROLLED COMPACTED FILL HAVING A MINIMUM BEARING CAPACITY OF 2000 POUNDS PER SQUARE FOOT.
 5. (F) INDICATES FOOTING TYPE. SEE FOOTING SCHEDULE FOR SIZE AND REINFORCING.
 6. ALL COLUMN FOOTINGS SHALL BE CENTERED UNDER COLUMN CENTERLINES UNLESS NOTED OTHERWISE ON PLAN.
 7. FOR GENERAL NOTES SEE DRAWING 501.

ISSUED FOR COORDINATION 11/23/22

DATE: REVISION:

DRAWING TITLE:

FOUNDATION PLAN

DESIGNED BY:

MDB

DRAWN BY:

DMD

DATE:

11/23/22

SCALE:

AS NOTED

PROJECT #:

2182MT 01

DRAWING NUMBER:

S1.1



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CERTIFICATE OF AUTHORIZATION NO:
24GA28128300

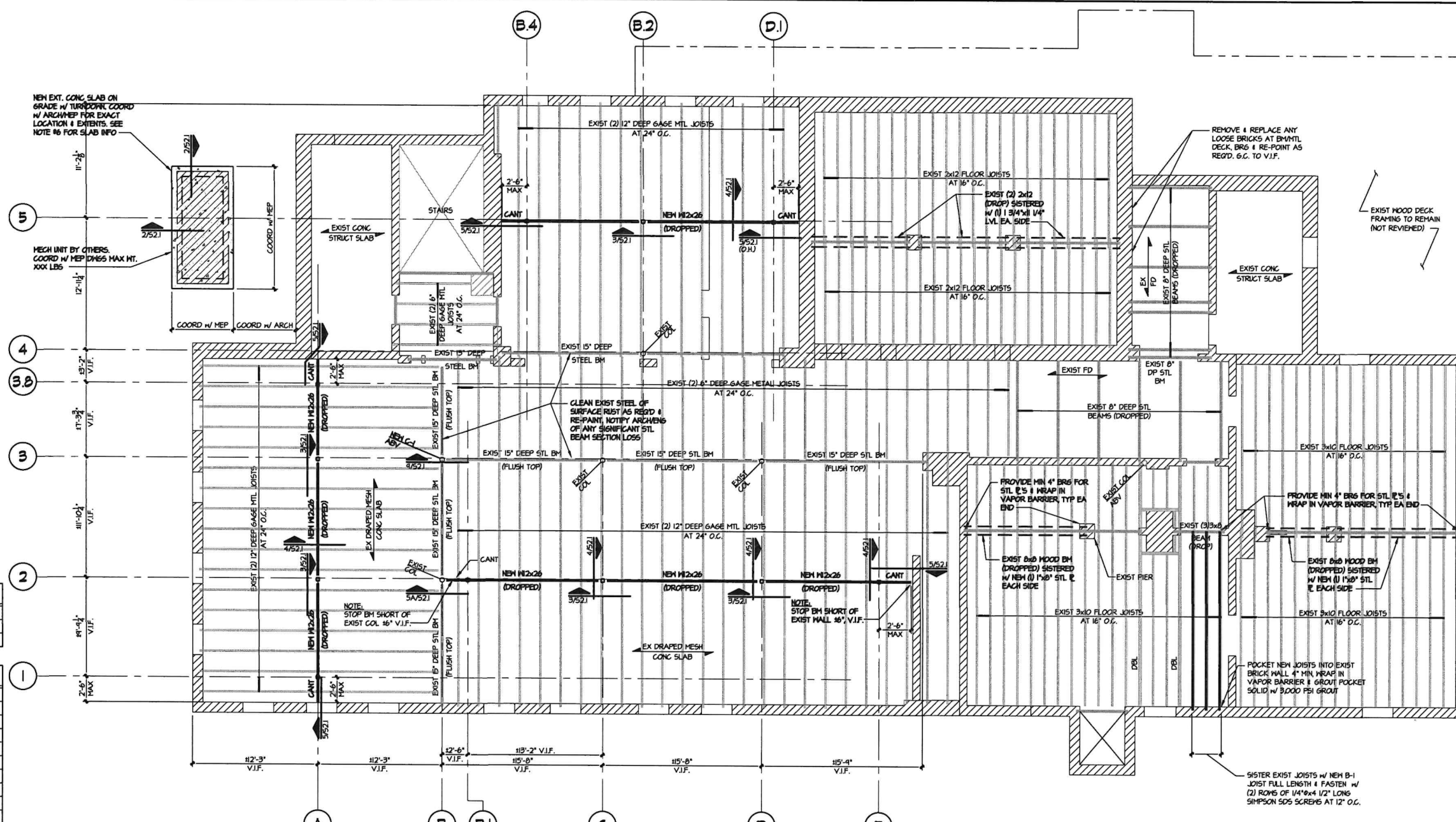
PETER J. ANAGON

NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: 08 51245

ALL DRAWING AND WRITTEN MATERIALS APPEARING
HEREIN CONSTITUTE MY OWN AND UNASSISTED WORK
OR THE PRODUCT OF MY EMPLOYMENT. I HEREBY
CERTIFY THAT I AM A LICENSED PROFESSIONAL
ENGINEER IN THE STATE OF NEW JERSEY AND
THAT I AM NOT PROVIDING ENGINEERING SERVICES
IN ANY STATE WHERE I AM NOT LICENSED. I
FURTHER CERTIFY THAT I AM NOT PROVIDING
ENGINEERING SERVICES UNDER THE NAME OF
ANY OTHER FIRM, INDIVIDUAL OR ENTITY.
I AM NOT PROVIDING ENGINEERING SERVICES
IN ANY STATE WHERE I AM NOT LICENSED.
I AM NOT PROVIDING ENGINEERING SERVICES
IN ANY STATE WHERE I AM NOT LICENSED.

PROJECT TITLE:

INTERIOR RENOVATIONS & ALTERATIONS
FOR
WILLIAM R. ALLEN SCHOOL
BURLINGTON, NJ



COLUMN SCHEDULE

C-1	H554x143/10"
-----	--------------

BEAM SCHEDULE

B-1	1-3/4x9-1/2 LVL
B-2	3-1/2x9-1/2 PSL
B-3	5-1/4x9-1/2 PSL
B-4	7x9-1/2 PSL
B-5	1-3/4x11-7/8 LVL
B-6	3-1/2x11-7/8 PSL
B-7	5-1/4x11-7/8 PSL
B-8	7x11-7/8 PSL
B-9	1-3/4x14 LVL
B-10	3-1/2x14 PSL
B-11	5-1/4x14 PSL
B-12	7x14 PSL
B-13	1-3/4x16 LVL
B-14	3-1/2x16 PSL
B-15	5-1/4x16 PSL
B-16	7x16 PSL

- NOTES:
- SEE STRUCTURAL NOTES FOR REQUIRED WOOD SPECIES AND GRADE.
 - PROVIDE 1/2" FLYWOOD SHM BETWEEN EACH PLY. MATCH DEPTH OF HEADER.
 - FOR 2x6 MULTIPLE MEMBERS GLUE AND NAIL EACH PLY W/ (3) ROWS OF 16d NAILS AT 8" O.C.
 - FOR 2x10 AND 2x12 MULTIPLE MEMBERS GLUE AND NAIL EACH PLY W/ (4) ROWS OF 16d NAILS AT 8" O.C.
 - NAIL OR BOLT MULTIPLE LVL BEAMS AND HEADERS PER MANUFACTURERS REQUIREMENTS.
 - PRE-ENGINEERED MOOD HEADERS MAY BE SUBSTITUTED FOR THE 2x MOOD HEADERS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.

REMOVE & REPLACE ANY LOOSE BRICKS AT JOIST BEARING & RE-POINT AS REQ'D. G.C. TO V.I.F.

FIRST FLOOR FRAMING PLAN

SCALE: 3/16" = 1'-0"

- NOTES:
- THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC) AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT. FAILURE TO NOTIFY ARCHITECT/ENGINEER OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
 - G.C. IS RESPONSIBLE TO FIELD VERIFY EXIST DIMENSIONS AND MEMBER SIZE. CONTACT ENGINEER IMMEDIATELY WITH ANY SIGNIFICANT DIFFERENCES TYPICAL AT ALL FLOORS.
 - PROVIDE TEMPORARY SHORING WHERE REQ'D TO MAINTAIN STABILITY.
 - FOR GENERAL NOTES SEE DRAWINGS SO.
 - EXTERIOR CONG. SLAB ON GRADE TO BE 6" THK NORMAL WT CONG (1 1/2 4000 PSI AT 28 DAYS) ON MIN 6" OF CRUSHED STONE (NO VAPOR BARRIER). REINF W/ W#6x6-IN-4x11-4 AT 1' FROM TOP OF SLAB.

ISSUED FOR COORDINATION 11/23/22

DATE	REVISION
DRAWING TITLE:	
FIRST FLOOR FRAMING PLAN	
DESIGNED BY:	
MDR	
DRAWN BY:	
DMD	
DATE:	
11/23/22	
SCALE:	
AS NOTED	
PROJECT #:	
2182MT 01	
DRAWING NUMBER:	

S1.2



PROFESSIONAL ENGINEERS

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CERTIFICATE OF AUTHORIZATION NO.

24GA28128300

PETER J. ARAGON

NEW JERSEY PROFESSIONAL ENGINEER

LICENSE NUMBER: GE 51247

ALL DRAWINGS AND WRITTEN MATERIALS SPEAKING FOR THE PROFESSIONAL ENGINEER AND FOR THE FIRM OF THE ENGINEER. THE REPRESENTATION OF THE ENGINEER OR ARCHITECT IN ANY DRAWING OR WRITTEN MATERIALS SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL CODE OF ETHICS AND A BREACH OF CONTRACT AND ASSETS. BOTH OF WHICH SHALL BE FORWARDED TO THE RELEVANT AGENCY OF THE STATE OF NEW JERSEY.

PROJECT TITLE:

INTERIOR RENOVATIONS & ALTERATIONS
FOR
WILLIAM R. ALLEN SCHOOL
BURLINGTON, NJ

G.C. TO COORD NEW PARTITION LOCATIONS W/ ARCH DWGS

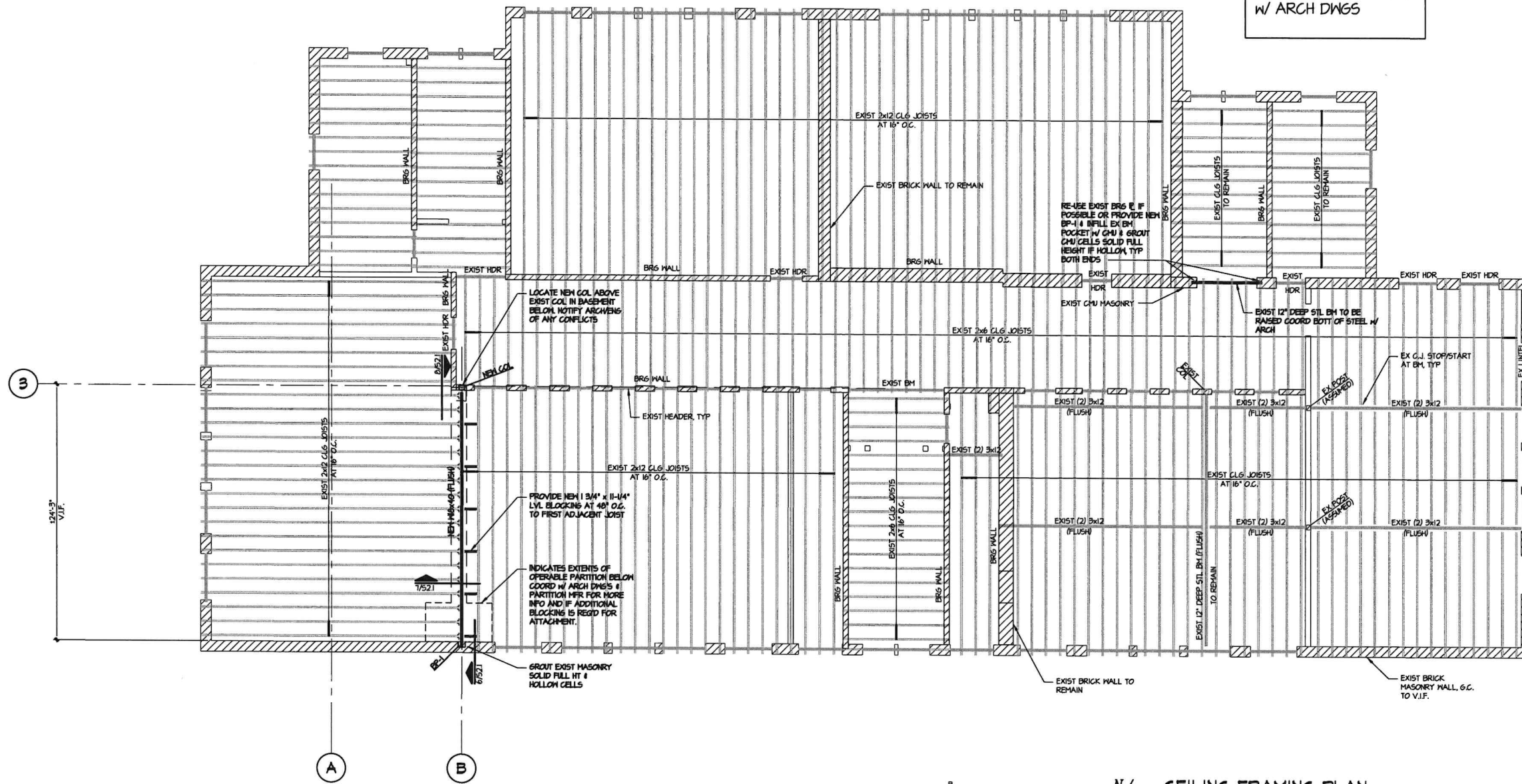
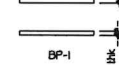
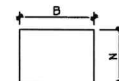


PLATE MARK	DIMENSIONS		
	B	N	T
BP-1	8	6	1/2



BEARING PLATE SCHEDULE



CEILING FRAMING PLAN

SCALE: 3/16" = 1'-0"

NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC) AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT. FAILURE TO NOTIFY ARCHITECT/ENGINEER OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
- G.C. IS RESPONSIBLE TO FIELD VERIFY EXIST DIMENSIONS AND MEMBER SIZE. CONTACT ENGINEER IMMEDIATELY WITH ANY SIGNIFICANT DIFFERENCES TYPICAL AT ALL FLOORS.
- PROVIDE TEMPORARY SHORING WHERE REQ'D TO MAINTAIN STABILITY.
- ALL 2x STRUCTURAL FRAMING TO BE #2 DOUG FIR OR BETTER.
- FOR GENERAL NOTES SEE DRAWING 901.
- INSTALL PROPER JOIST HANGERS AT ALL JOIST MEMBERS. THE INSTALLATION OF THE JOIST HANGERS SHALL COMPLY WITH THE MANUFACTURER'S RECOMMENDED DETAILS.

ISSUED FOR COORDINATION 11/23/22

DATE	REVISION

DRAWING TITLE:
CEILING FRAMING PLAN

DESIGNED BY:
MDR

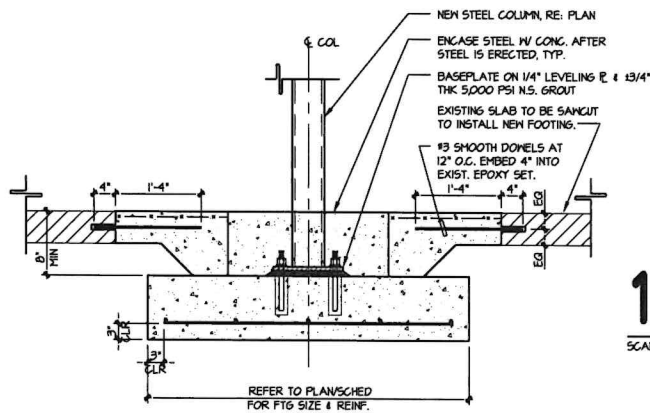
DRAWN BY:
DMD

DATE:
11/23/22

SCALE:
AS NOTED

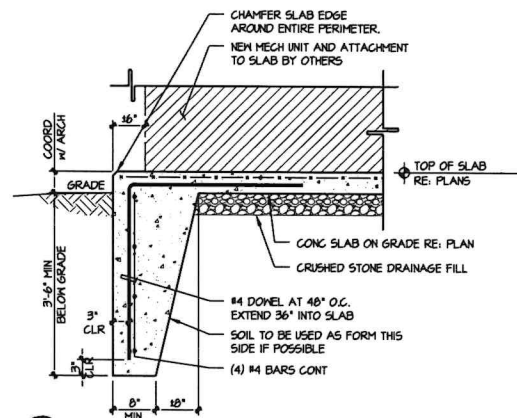
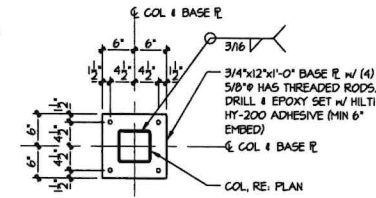
PROJECT #:
2182MT 01

DRAWING NUMBER:
S1.3



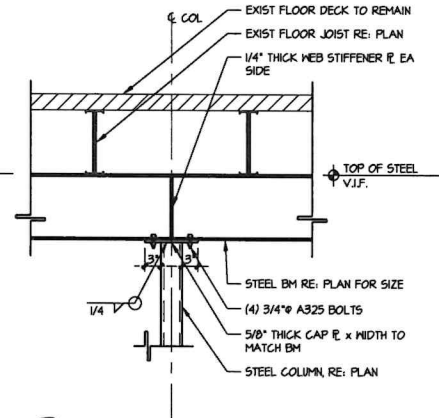
1A BASE PLATE DETAIL

SCALE: 3/4" = 1'-0"



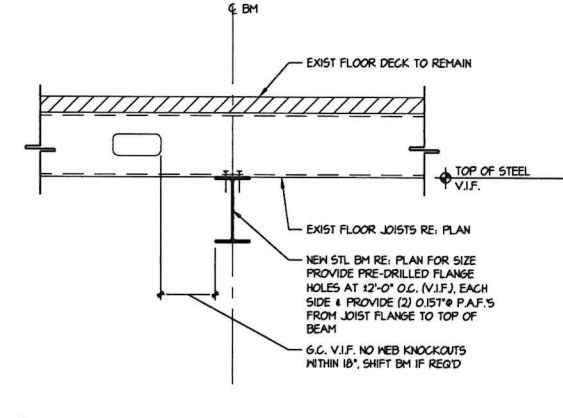
2 DETAIL AT HAUNCHED SLAB ON GRADE

SCALE: 3/4" = 1'-0"



3 DETAIL AT NEW BEAM TO COL

SCALE: 3/4" = 1'-0"

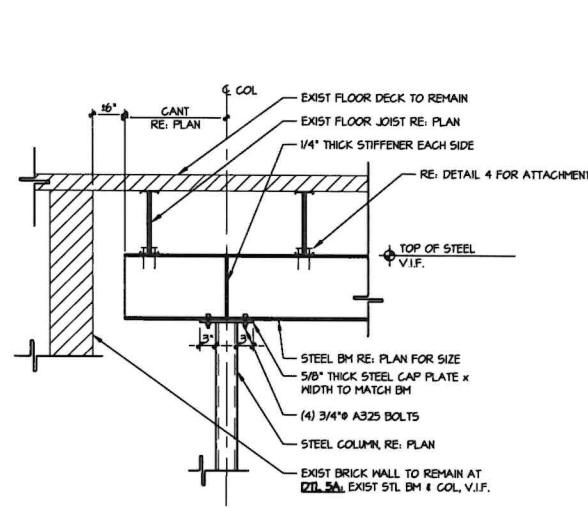


4 DETAIL AT NEW DROP BM

SCALE: 3/4" = 1'-0"

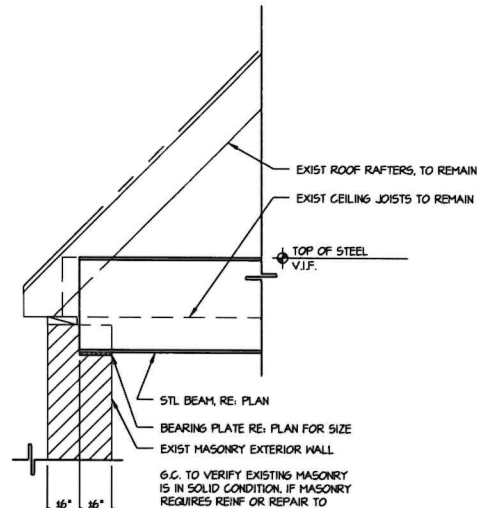
1 DETAIL AT NEW INTERIOR FOOTING

SCALE: 3/4" = 1'-0"



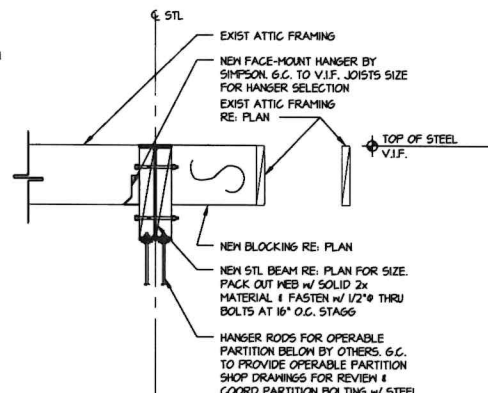
5/5A DETAIL AT NEW CANT BM TO COL

SCALE: 3/4" = 1'-0"



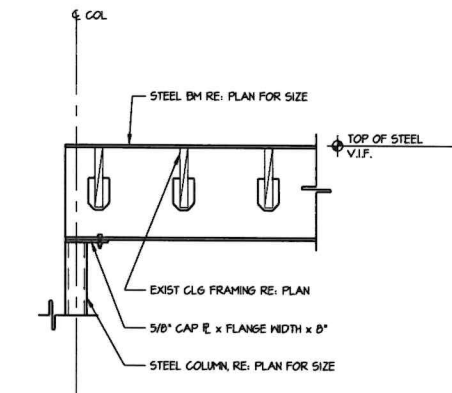
6 DETAIL AT BEARING PLATE

SCALE: 3/4" = 1'-0"



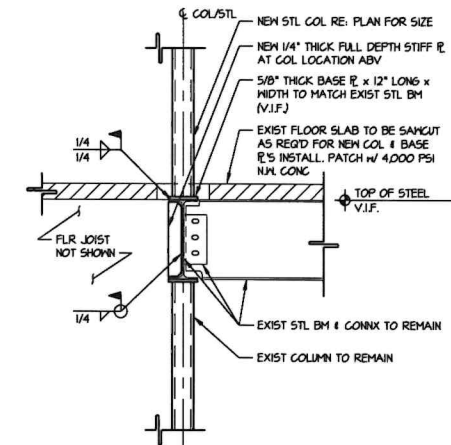
7 DETAIL AT NEW PARTITION STEEL BEAM

SCALE: 3/4" = 1'-0"



8 DETAIL AT NEW BEAM TO COL

SCALE: 3/4" = 1'-0"



9 DETAIL AT NEW COL ON EXIST BM

SCALE: 3/4" = 1'-0"



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CERTIFICATE OF AUTHORIZATION NO.

24GA28128300

PETER J. AUGON
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: GE 5124

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PROJECT TITLE:

INTERIOR RENOVATIONS & ALTERATIONS
FOR:
WILLIAM R. ALLEN SCHOOL
BURLINGTON, NJ

DATE: REVISION:

DRAWING TITLE:

DETAILS

DESIGNED BY: MDB

DRAWN BY: DMD

DATE: 11/23/22

SCALE: AS NOTED

PROJECT #: 2182MT 01

DRAWING NUMBER:

S2.1

ISSUED FOR COORDINATION 11/23/22

PROJECT GENERAL NOTES

- MOTOR CONTROLLERS, MOTOR STARTERS & DISCONNECTS SHALL BE FURNISHED BY DIVISION 23 AND INSTALLED UNDER DIVISION 26.
- POWER WIRING TO MECHANICAL EQUIPMENT, MOTOR CONTROLLERS AND CONTROL PANELS SHALL BE PROVIDED UNDER DIVISION 26.
- HVAC CONTROL WIRING SHALL BE PROVIDED UNDER DIVISION 23.
- DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE WITH LOCKABLE HANDLE. DISCONNECTS FOR ALL ELECTRICALLY DRIVEN HVAC EQUIPMENT SHALL BE FURNISHED BY DIVISION 23 AND INSTALLED BY DIVISION 26.
- STARTERS SHALL BE NEMA COMBINATION MAGNETIC MOTOR STARTERS SIZED PER MOTOR HORSE POWER. COORDINATE MOTOR STARTER TYPE AND FEATURES WITH THE REQUIREMENTS OF THE MECHANICAL EQUIPMENT AND THE CONTROL SYSTEM. PROVIDE OVERLOAD, UNDER VOLTAGE AND PHASE LOSS PROTECTION IN ALL STARTERS. STARTERS FOR MOTORS 50 HORSE POWER AND LARGER SHALL BE REDUCED VOLTAGE TYPE.
- DUCTWORK AND PIPING LAYOUTS ARE SCHEMATIC DIAGRAMS AND ARE INTENDED TO SHOW GENERAL ARRANGEMENT, SIZE AND CAPACITY AND DO NOT INDICATE WHICH PIPE OR DUCT IS ABOVE OR BELOW THE OTHER. ALL OFFSETS ARE NOT NECESSARILY SHOWN, CONTRACTOR SHALL ARRANGE AND COORDINATE THE WORK, FURNISH NECESSARY OFFSETS, VALVES, VENTS, AND FITTINGS TO AVOID CONFLICT WITH OTHER MECHANICAL AND ELECTRICAL SERVICES AND STRUCTURAL AND ARCHITECTURAL ELEMENTS WITHOUT ADDITIONAL COST TO THE OWNER. IF AREAS OF CONFLICT ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED AND CONTRACTORS RECOMMENDATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE WORK HAS BEGUN.
- ENTIRE INSTALLATION SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND OTHER AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND SHALL ARRANGE ALL REQUIRED INSPECTIONS.
- PROPER FIRE PROTECTION MEASURES, SATISFACTORY TO THE LOCAL FIRE DEPARTMENT SHALL BE TAKEN WHEN WELDING OR CUTTING WITH TORCHES OR ELECTRIC ARC.
- PROVIDE FLEXIBLE CONNECTIONS ON ALL ROTATING EQUIPMENT.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY MISCELLANEOUS STEEL FOR THE SUPPORT OF ALL EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK. SUSPEND FROM SLAB, STEEL WALL, OR TRUSS WORK.
- BALANCE AND CERTIFY ALL AIR SYSTEMS AS PER SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER TRADES AND THE EXISTING FIELD CONDITIONS.
- PROVIDE SHUT OFF VALVES AT ALL BRANCH PIPING CONNECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING OF SLAB REQUIRED AS A RESULT OF HIS WORK.
- MINIMUM SIZE OF ALL CONDENSATE DRAIN PIPING SHALL BE 3/4", MINIMUM SLOPE SHALL BE 1/8" PER FOOT.
- ALL MECHANICAL CONTROLS (THERMOSTATS, ETC.) SHALL BE FURNISHED AND INSTALLED AS PER BARRIER-FREE SUB-CODE OF THE LOCAL GOVERNING CODE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL MECHANICAL EQUIPMENT SHALL BE MOUNTED ON VIBRATION ISOLATORS TO PREVENT THE TRANSMISSION OF SOUND TO THE BUILDING STRUCTURE. VIBRATION ISOLATORS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND ON ACTUAL WEIGHT DISTRIBUTION OF THE EQUIPMENT FURNISHED. DEFLECTIONS SHALL BE AS NOTED ON THE EQUIPMENT SHOP DRAWING SUBMITTALS.
- ALL CONDENSATE DRAIN LINES SHALL COMPLY WITH NSPC.
- CONTRACTOR TO PATCH ALL DISTURBED FINISHES WITH MATERIAL AND ASSEMBLIES TO MATCH EXISTING ADJACENT SURFACES AND FINISHES.
- ALL REMOVED EQUIPMENT, MATERIAL AND DEBRIS SHALL BE LEGALLY DISPOSED OF BY THIS CONTRACTOR.
- CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL DEVICES WILL BE INSTALLED IN A LOCATION WHICH AFFORDS ACCESSIBILITY FOR MAINTENANCE AND REPAIR. COORDINATE INSTALLATION AMONG ALL TRADES TO AVOID INTERFERENCE, AND LOCATE EQUIPMENT TO PROVIDE CLEARANCE OR EXCEED THOSE RECOMMENDED BY THE MANUFACTURER.
- INSTALL ALL DIELECTRIC UNIONS IN A MANNER WHICH MAKE THEM READILY ACCESSIBLE FOR FUTURE REPAIR OR REPLACEMENT.
- CONTRACTOR SHALL VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID.
- ALL INTERIOR PIPING SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE.
- ALL CONTROL WIRING SHALL BE INSTALLED IN CONDUIT IF RUN IN MECH ROOM OR OPEN TO DAMAGE. WIRING ABOVE CEILING OR CONCEALED LOCATIONS (SAFE FROM DAMAGE) CAN BE ROUTED AS PLENUM RATED CABLE.
- WHERE PIPING CONNECTIONS FOR THE EQUIPMENT SUCH AS PUMPS, AC UNITS, COILS, ETC. DIFFER FROM THE LINE SIZE, IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO FURNISH AND INSTALL THE NECESSARY REDUCERS OR EXPANDER FITTINGS TO ENABLE CONNECTION BETWEEN THE PIPING SYSTEM AND THE EQUIPMENT.
- ALL DRAINAGE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/8" PER FOOT.
- ALL INSULATION PROVIDED FOR THE PROJECT MUST MEET A MAXIMUM FLAME SPREAD RATING OF 25 AND SMOKE DEVELOPED OF 50 OR LESS, AS TESTED IN ACCORDANCE WITH ASTM, NFPA & U.L. GUIDELINES.
- ALL EQUIPMENT FOR THIS PROJECT SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
- CONTRACTOR SHALL SUBMIT DIMENSIONED, COORDINATED SHOP DRAWINGS FOR ENGINEERS APPROVAL. DRAWING SHALL INDICATE ALL TRADES, (ELECTRICAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND INFRASTRUCTURE).
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A ONE (1) YEAR WRITTEN GUARANTEE OF ALL WORK (LABOR AND MATERIALS) STARTING FROM THE DATE OF ISSUANCE OF SUBSTANTIAL COMPLETION.
- UNLESS OTHERWISE SPECIFIED, ALL MOTORS 1/2 H.P. AND ABOVE SHALL BE 3 PHASE AND MOTORS UNDER 1/2 H.P. SHALL BE SINGLE PHASE.
- THE MECHANICAL CONTRACTOR SHALL COORDINATE THE ELECTRICAL REQUIREMENTS OF HIS WORK WITH THE GENERAL AND ELECTRICAL CONTRACTORS PRIOR TO SUBMISSION OF BIDS.

GENERAL ABBREVIATIONS

IDENTIFIER	DESCRIPTION	IDENTIFIER	DESCRIPTION
AFF	ABOVE FINISHED FLOOR	MC	MECHANICAL CONTRACTOR
AFG	ABOVE FINISHED GRADE	MCA	MINIMUM CIRCUIT AMPS
ATC	AUTOMATIC TEMPERATURE CONTROLS	MEZZ	MEZZANINE
BFG	BELOW FINISHED GRADE	MFG	MANUFACTURER
BLDG	BUILDING	MH	MOUNTING HEIGHT
CONN'S	CONNECTIONS	MN	MINIMUM
CLG	CEILING	MOD	MOTOR OPERATED DAMPER
CO	COMPANY	MTD	MOUNTED
CONTR	CONTRACTOR	NC	NORMALLY CLOSED
CTE	CONNECT TO EXISTING	NIC	NOT IN CONTRACT
DN	DOWN	NO	NORMALLY OPEN
DWG(S)	DRAWING(S)	NTS	NOT TO SCALE
EC	ELECTRICAL CONTRACTOR	OC	ON CENTER
EM	EMERGENCY	PC	PLUMBING CONTRACTOR
EQUIP	EQUIPMENT	PSI	POUNDS PER SQUARE INCH
ETR	EXISTING TO REMAIN	PVC	POLYVINYL CHLORIDE
EWC	ELECTRIC WATER COOLER	R	EXISTING EQUIPMENT TO BE REMOVED
EX	EXISTING	RL	EXISTING EQUIPMENT TO BE RELOCATED
FLA	FULL LOAD AMPS	RLA	RUNNING LOAD AMPS
FS	FLOW SWITCH	RFM	REVOLUTIONS PER MINUTE
GC	GENERAL CONTRACTOR	SD	DUCT SMOKE DETECTOR
HP	HORSEPOWER	SQ. FT.	SQUARE FEET
MAX	MAXIMUM	TYP	TYPICAL
		VSD	VARIABLE SPEED DRIVE

* NOTE THAT NOT ALL ABBREVIATIONS APPLY TO THE PROJECT * NOTE THAT NOT ALL ABBREVIATIONS APPLY TO THE PROJECT

MECHANICAL ABBREVIATIONS

CFM	CUBIC FEET PER MINUTE	R/A	RETURN AIR
CR	CEILING REGISTER	RAV	RELIEF AIR VENT
CU	CONDENSING UNIT	RG	RETURN GRILLE
CW	COLD WATER	RH	RELATIVE HUMIDITY
DB	DRY BULB	RR	RETURN REGISTER
DN	DOWN	S/A	DOWN
E/A	EXHAUST AIR	SD	SMOKE DAMPER
EAT	ENTERING AIR TEMPERATURE	SE	SMOKE EXHAUST
EDB	ENTERING DRY BULB	SF	SUPPLY FAN
EER	ENERGY EFFICIENCY RATIO	SR	SUPPLY REGISTER
EG	EXHAUST GRILLE	T	THERMOSTAT
EH	ELECTRIC HEATER	TG	TRANSFER GRILLE
ESP	EXTERNAL STATIC PRESSURE	TO	TRANSFER OPENING
EWB	ENTERING WET BULB	TR	TOP REGISTER
EF	EXHAUST FAN	TT	THERMOSTATIC TRAP
FD	FIRE DAMPER WITH ACCESS DOOR	UH	UNIT HEATER
FFW	FEET PER MINUTE	UV	UNIT VENTILATOR
G	GAS	VD	VOLUME DAMPER
GPM	GALLONS PER MINUTE	WB	WET BULB
HX	HEAT EXCHANGER	WC	WATER COLUMN
LAT	LEAVING AIR TEMPERATURE	WG	WATER GAUGE
LPS	LOW PRESSURE STEAM	WMS	WIRE MESH SCREEN
LPC	LOW PRESSURE CONDENSATE	XEF	EXISTING EXHAUST FAN
MAU	MAKE UP AIR UNIT	XB	EXISTING BOILER
MBH	THOUSAND BTU PER HOUR	X	EXISTING
MOD	MOTOR OPERATED DAMPER	XUV	EXISTING UNIT VENT
NC	NORMALLY CLOSED	XRAD	EXISTING RADIATOR
NO	NORMALLY OPEN	XLV	EXISTING UNIT VENTILATOR
O/A	OUTSIDE AIR	XWAC	EXISTING WINDOW AIR CONDITIONER
OA	OUTSIDE AIR INTAKE		
OED	OPEN ENDED DUCT		
P	PUMP		

* NOTE THAT NOT ALL ABBREVIATIONS APPLY TO THE PROJECT * NOTE THAT NOT ALL ABBREVIATIONS APPLY TO THE PROJECT

SYMBOL LIST

SYMBOL	DESCRIPTION
	PLAN OR DETAIL TAG DRAWING # TO LOCATE DETAIL
	SECTION TAG DRAWING # TO LOCATE SECTION
	ELEVATION TAG DRAWING # TO LOCATE ELEVATION
	KEY NOTE SYMBOL
	KEY NOTES APPLYING TO SAME ITEM
	CONNECT TO EXISTING
	PLAN NORTH

MECHANICAL SYMBOLS

IDENTIFIER	DESCRIPTION	IDENTIFIER	DESCRIPTION
HWS	HEATING HOT WATER SUPPLY	REDUCER (ECCENTRIC)	
HWR	HEATING HOT WATER RETURN	VALVE ON RISER	
CD	CONDENSATE DRAIN	ANGLE VALVE	
PC	PUMPED CONDENSATE	PRESSURE RELIEF VALVE	
V	EQUIPMENT VENT	CONTROL VALVE (2-PORT)	
PCV	PRESSURE REDUCING VALVE (SELF-CONTAINED)	CONTROL VALVE (3-PORT)	
PCV	PRESSURE REDUCING VALVE (REMOTE TYPE)	PIPE ANCHOR	
SPG	STEAM PRESSURE GAUGE W/ SHUT-OFF	MOMENT GUIDES	
PG	PRESSURE GAUGE W/ SHUT-OFF	OPEN-ENDED PIPE	
TM	THERMOMETER W/ SHUT-OFF	PIPE TO BE DEMOLISHED	
Y	Y-TYPE STRAINER W/ BLOWDOWN & HOSE BIBB	CONNECT TO EXISTING	
U	UNION	DUCT UNDER POSITIVE PRESSURE	
MAV	MANUAL AIR VENT	DUCT UNDER NEGATIVE PRESSURE	
AAV	AUTOMATIC AIR VENT	ROUND DUCT	
PTU	PIPE TURNING UP	SUPPLY REGISTER	
PTD	PIPE TURNING DOWN	RETURN OR EXHAUST REGISTER	
P	PITCH DOWN	VOLUME DAMPER	
D	DIRECTION OF FLOW	FIRE DAMPER W/ACCESS DOOR	
CP	CAPPED PIPE	BACKDRAFT DAMPER	
EJ	EXPANSION JOINT	MOTORIZED DAMPER	
BV	BALL VALVE	AIRFLOW THRU UNDERCUT	
SV	SWING TYPE CHECK VALVE	AIRFLOW THRU LOWERED DOOR	
GV	GATE VALVE	THERMOSTAT (WALL MOUNTED)	
GV	GLOBE VALVE	AIR DEVICE TYPE	
BV	BUTTERFLY VALVE	AIR QUANTITY	
CBV	CALIBRATED BALANCING VALVE	DUCTWORK TO BE DEMOLISHED	
TDV	TRIPLE-DUTY VALVE	SENSOR	
R	REDUCER (CONCENTRIC)	FLEXIBLE CONNECTION	
GC	GAS COCK	EXISTING DUCTWORK TO REMAIN	
PR	PRESSURE REGULATOR (LOCK UP TYPE)	THERMOMETER	
G	GAS PIPING	PUMP	
SSP	SANITARY SEWER PIPING	EXISTING SUPPLY DIFFUSER	
SSVP	SANITARY VENT PIPING	EXISTING RETURN OR EXHAUST GRILLE	
ST	STEAM TRAP		

* NOTE THAT NOT ALL SYMBOLS APPLY TO THE PROJECT

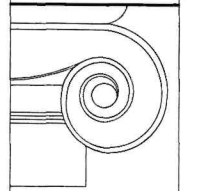
GENERAL NOTES

- THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR POSSIBLE INTERFERENCE WITH HIS WORK AND THE WORK OF OTHERS FROM NEW AND EXISTING CONDITIONS.
- DUCTWORK AND PIPING LAYOUTS ARE DIAGRAMMATIC AND INTEND TO SHOW A GENERAL ARRANGEMENT, SIZE AND CAPACITY. ALL OFFSETS ARE NOT NECESSARILY SHOWN. CONTRACTOR SHALL ARRANGE AND COORDINATE THE WORK, FURNISH NECESSARY OFFSETS, VALVES, VENTS, AND FITTINGS TO AVOID CONFLICT WITH OTHER MECHANICAL AND ELECTRICAL SERVICES AND WITH STRUCTURAL AND ARCHITECTURAL ELEMENTS.
- WHILE ALL ATTEMPTS AT ACCURACY HAVE BEEN TAKEN, NO GUARANTEE OF AN EXACT REPRESENTATION OR COMPLETENESS IS IMPLIED. RESPONSIBILITY FOR FINAL VERIFICATION FALLS TO THE CONTRACTOR. ANY UNRESOLVED DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SEE SCHEDULES AND DETAILS FOR ADDITIONAL INFORMATION.
- ALL SYSTEMS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION PHASE OF WORK SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST.
- ALL REMOVED MATERIALS AND EQUIPMENT SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR. OWNER RESERVES THE RIGHT TO RETAIN ANY MATERIAL, WHICH SHALL BE STORED AT HIS DIRECTION.
- IT IS THE INTENT OF THESE DOCUMENTS THAT ALL EXISTING HVAC EQUIPMENT AND SYSTEMS THAT ARE NOT TO BE RE-USED BE DISCONNECTED AND REMOVED IN THEIR ENTIRETY. ALL DUCTWORK, PIPING AND EQUIPMENT, WHETHER INDICATED ON THESE DRAWINGS OR NOT, SHALL BE REMOVED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VISIT SITE AND MAKE NOTE OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID.
- ALL PENETRATIONS THROUGH EXISTING CORRIDOR WALLS SHALL BE TREATED AS RATED PENETRATIONS AND SEALED AS PER DETAILS.
- ALL CONTROLLERS AND THERMOSTATS LOCATED IN PUBLIC AREAS SHALL HAVE PLASTIC, LOCKABLE COVERS INSTALLED ON THEM.
- ALL CONTROL WIRING SHALL BE ROUTED CONCEALED. IN ANY CASES WHERE THE WIRING MUST BE ROUTED EXPOSED, PROVIDE AND INSTALL ONE-PIECE NONMETALLIC RACEWAY AND JOINING PIECES TO CONCEAL AND PROTECT WIRING. RACEWAY SHALL BE SIMILAR TO SERIES 2700 AS PRODUCED BY WIREMOLD OR EQUAL.
- PATCH ALL PENETRATIONS FROM REMOVED EQUIPMENT WITH SIMILAR MATERIALS. COORDINATE WITH ROOF CONTRACTOR UNDER SEPARATE CONTRACT SO AS NOT TO AVOID ANY ROOF WARRANTIES.

HVAC DESIGN CRITERIA

HVAC DESIGN CRITERIA

- APPLICABLE CODES AND REFERENCES:
 - INTERNATIONAL BUILDING CODE - 2018 NJ EDITION
 - ASHRAE / IES STANDARD 90.1 - 2016
 - INTERNATIONAL MECHANICAL CODE - 2018
 - INTERNATIONAL FUEL GAS CODE - 2018
 - NATIONAL STANDARD PLUMBING CODE - 2018
 - UNIFORM CONSTRUCTION CODE OF NEW JERSEY
 - NATIONAL ELECTRIC CODE - 2017
- SUMMER OUTDOOR DESIGN CONDITIONS (PER ASHRAE FUNDAMENTALS - 2017):
 - DRY BULB: 94.3 DEG. F.
 - WET BULB: 74.4 DEG. F. *
 - ASHRAE 0.4 % COOLING DRY BULB/MEAN WET BULB FOR NEWARK, NEW JERSEY.
- SUMMER INDOOR DESIGN CONDITIONS:
 - DRY BULB: 75 DEG. F. (+/- 2 DEG. F.)
 - RELATIVE HUMIDITY: 50%
- WINTER OUTDOOR DESIGN CONDITIONS (PER ASHRAE FUNDAMENTALS - 2017):
 - DRY BULB: 12.8 DEG. F. *
 - ASHRAE 99.6 % DESIGN DAY DRY BULB FOR NEWARK, NEW JERSEY.
- WINTER INDOOR DESIGN CONDITIONS (FOR SPACES WHERE HEATING PROVIDED):
 - DRY BULB: 70 DEG. F. (+/- 2 DEG. F.)
 - RELATIVE HUMIDITY: NO MINIMUM HUMIDITY CONTROL PROVIDED



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PA R4403776
MARGARET M. HICKEY, AIA
NJ 21A018244500

PROJECT No. - 2016C
DATE: 08 AUGUST 2022

REVISIONS:

DRAWN BY: JMM/CR, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

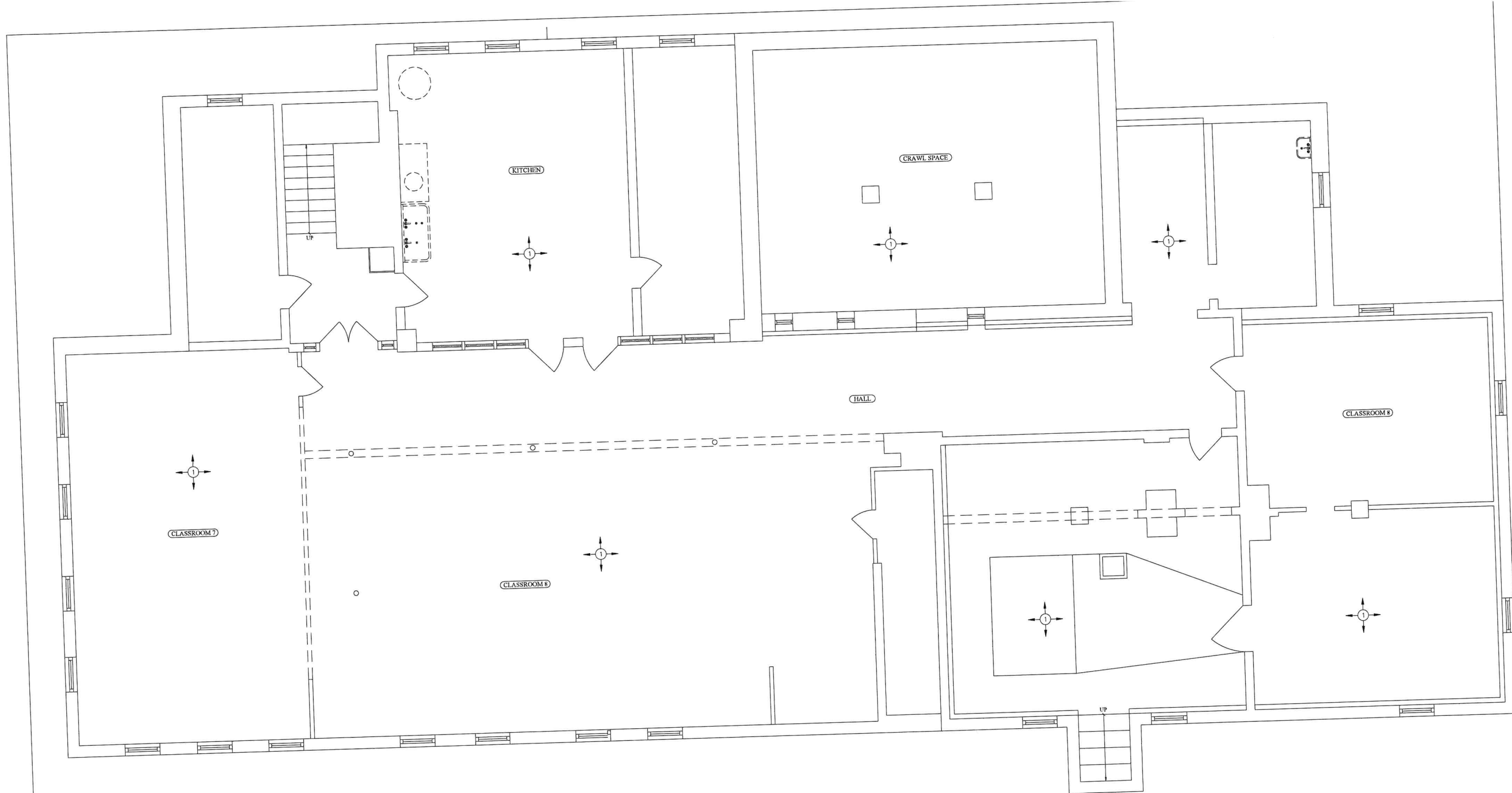


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Tom Ryan, P.E.
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State of New Jersey
1-EP-PROGRESS-08T
08/08/2022
DATE:
08/08/2022
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: 451800

M0.1



01 MECHANICAL BASEMENT DEMOLITION PLAN
 MD1.0 1/4" = 1'-0"

- KEY NOTES**
1. REMOVE ALL RADIATORS, BOILER, STEAM AND CONDENSATE PIPING.
 2. -
 3. -

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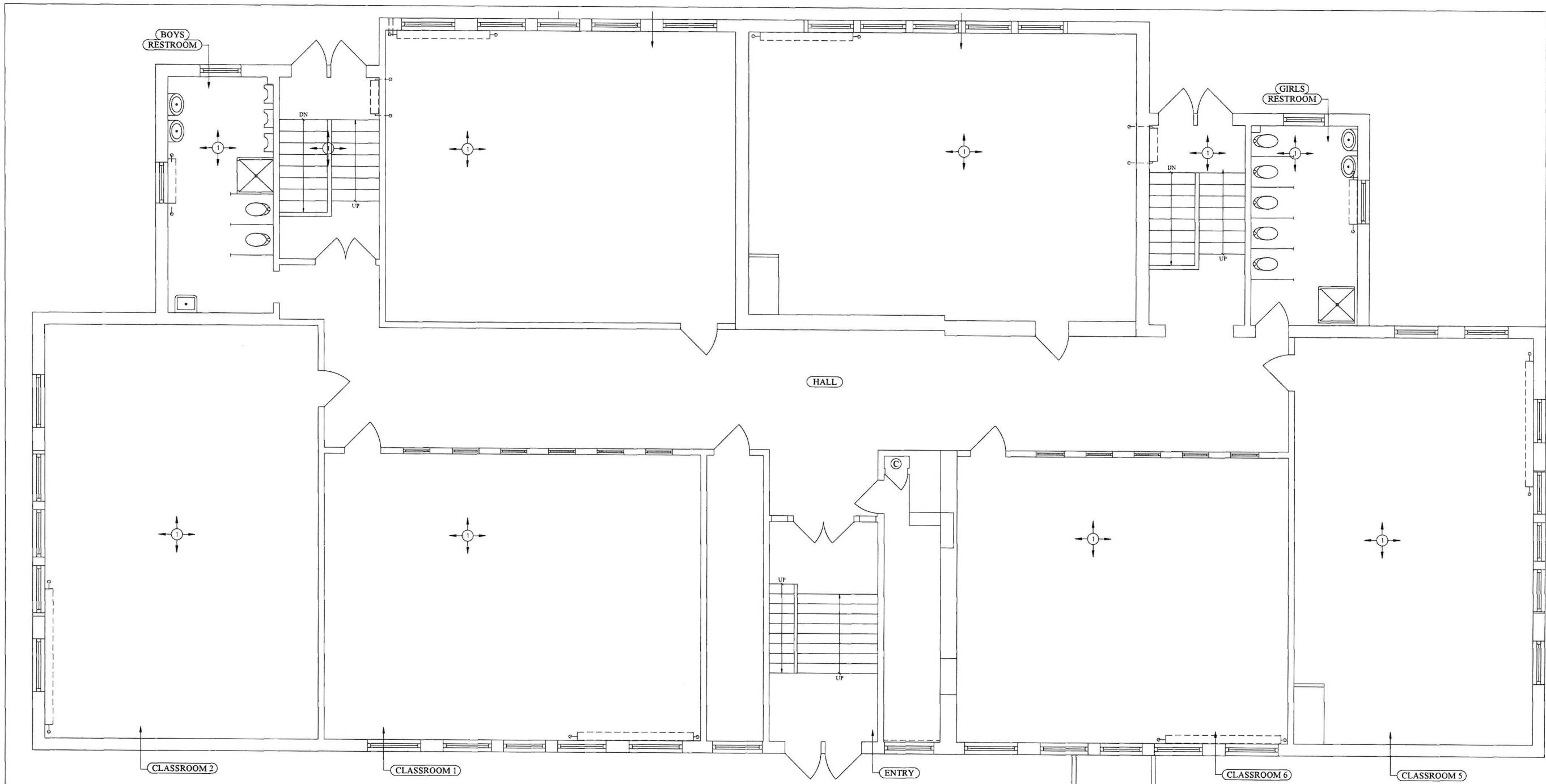
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Paul Rizzo, P.E.
 Professional Engineer
 State of New Jersey
 08/08/2022
 DATE:
 KSI PROJECT # 20224_07
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: 451580

MD1.0



01 MECHANICAL FIRST FLOOR DEMOLITION PLAN
 MD1.1 1/4"=1'-0"

- KEY NOTES**
1. REMOVE ALL RADIATORS, UNIT VENTILATORS, STEAM & CONDENSATE PIPING.
 2. -
 3. -

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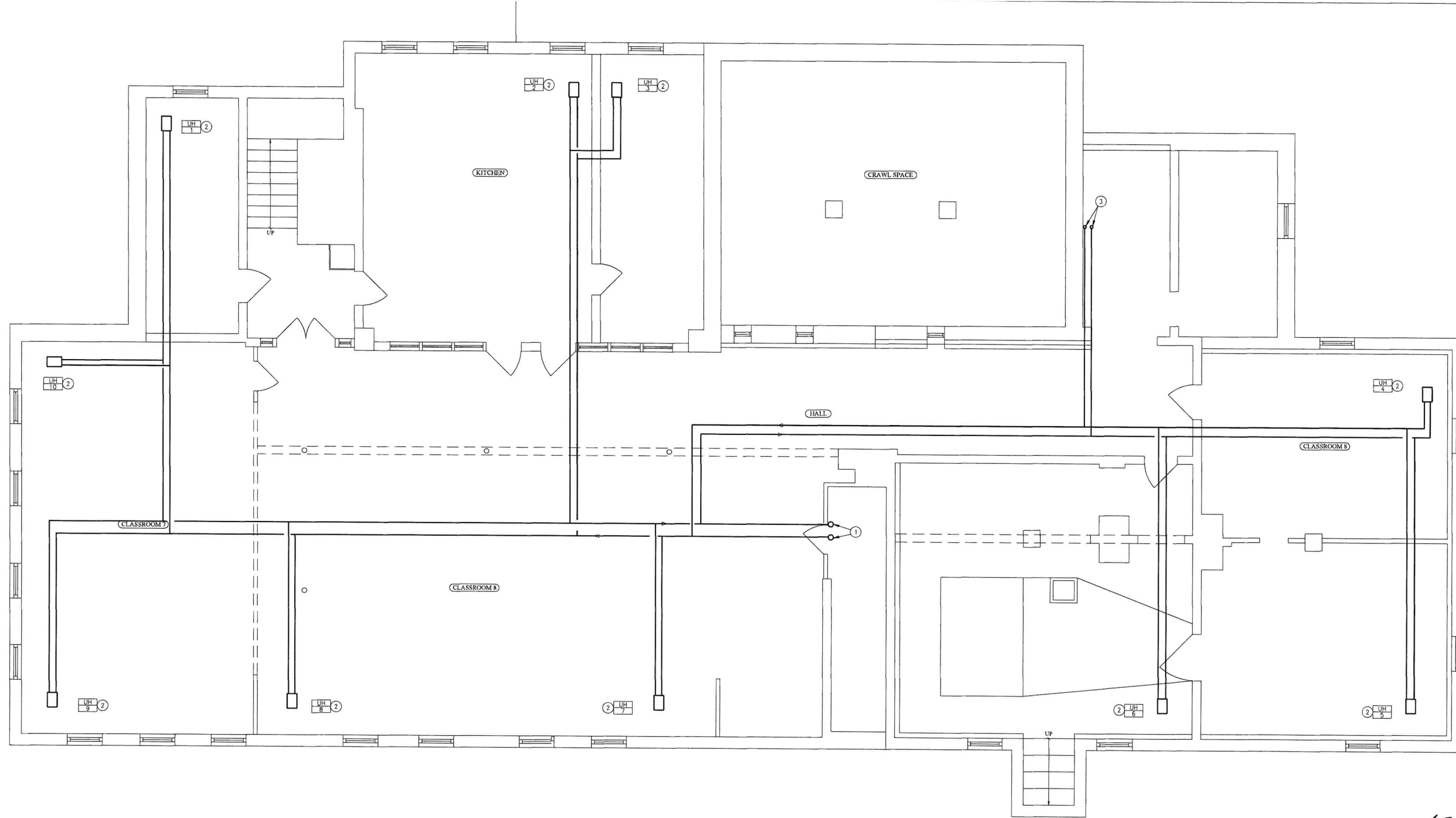
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Paul Ryan, P.E.
 Professional Engineer
 State of New Jersey
 1-STEP PROGRESS SET
 08/08/2022
 DATE: 08/08/2022
 KSI PROJECT # 2016C_01
 NEW JERSEY PROFESSIONAL ENGINEER LICENSE NUMBER 431960

MD1.1



01 MECHANICAL BASEMENT NEW WORK PLAN
 M1.0 1/4" = 1'-0"

KEY NOTES

1. 1-1/2" HWS&R PIPING UP.
2. HW UNIT HEATER SUPPORTED PER MANUFACTURER'S REMCOMMENDATIONS.
3. 3/4" HWS&R UP TO CUH-2.



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 DATE: 08/08/2022
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: 451980

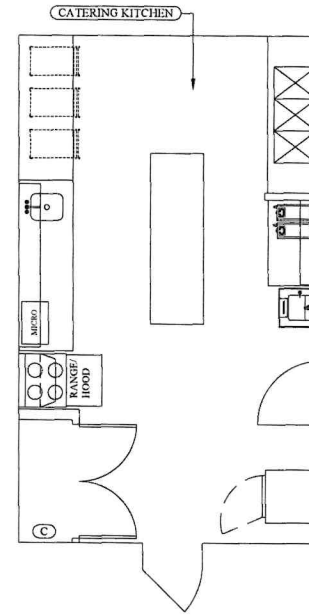
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M1.0



KEY NOTES

1. DX COOLING FAN COIL WITH ECONOMIZER SUPPORTED FROM STRUCTURE ABOVE WITH VIBRATION ISOLATORS PER MANUFACTURER'S RECOMMENDATIONS IN ATTIC SPACE ABOVE. PROVIDE DRIP PAN BELOW WITH PAN ALARM. ROUTE CONDENSATE TO JANITORS SINK.
2. NEW DIRECT VENT GAS DUCT FURNACE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
3. ECONOMIZER RELIEF FAN SUPPORTED FROM STRUCTURE ABOVE WITH VIBRATION ISOLATORS PER MANUFACTURER'S RECOMMENDATIONS.
4. BATHROOM EXHAUST FAN SUPPORTED FROM STRUCTURE ABOVE WITH VIBRATION ISOLATORS PER MANUFACTURER'S RECOMMENDATIONS.
5. 10X8 EXHAUST DUCT DOWN.
6. 40X20 EXHAUST DUCT UP.
7. 40X12 OUTDOOR AIR INTAKE DUCT UP.
8. AIR COOLED CONDENSER INSTALLED ON EQUIPMENT PAD. ROUTE REFRIGERANT LINES SIZED PER MANUFACTURER'S RECOMMENDATIONS AND CONTROL WIRING IN CONDUIT TO RESPECTIVE INDOOR UNIT.
9. NEW TEMPERATURE SENSOR. VERIFY MOUNTING HEIGHT AND LOCATION WITH OWNER.
10. FURNACE WITH DX COIL HUNG FROM STRUCTURE ABOVE WITH SPRING ISOLATORS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE AUXILIARY DRAIN PAN CONDENSATE PUMP AND ROUTE CONDENSATE DRAIN PIPING TO MOP SINK AND SPILL INDIRECTLY. PROVIDE AND INSTALL FILTER RACK WITH FILTERS ON UNIT RETURN OPENING. SEE INSTALLATION DETAILS ON M2.1.
11. FURNACE VENT AND COMBUSTION AIR INTAKE SIZED PER MANUFACTURER'S RECOMMENDATIONS UP THROUGH ROOF TERMINATE CONCENTRIC FURNACE VENT PROVIDED BY MANUFACTURER.
12. 8X8 INTAKE DUCT UP. CONNECT TO COOK PR12 GRAVITY INTAKE VENTILATOR WITH BIRDSCREEN INSTALLED ON SLOPED CURB ON ROOF ABOVE.

01
M1.1A MECHANICAL KITCHEN PLAN - ALTERNATE
1/4"=1'-0"

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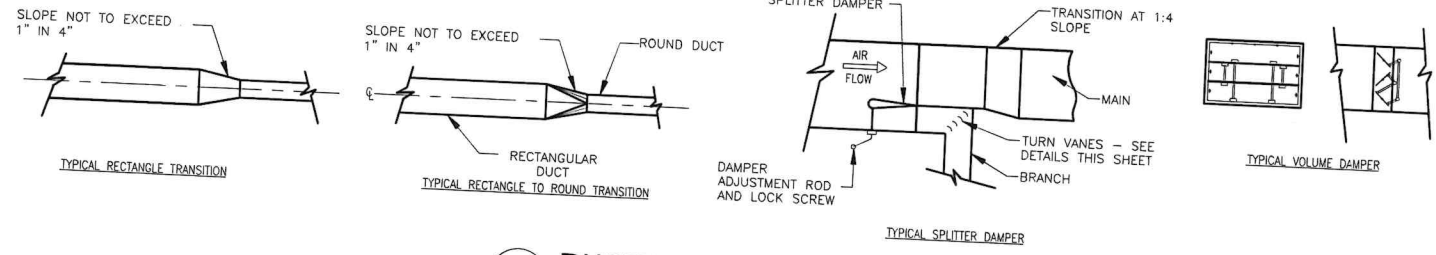
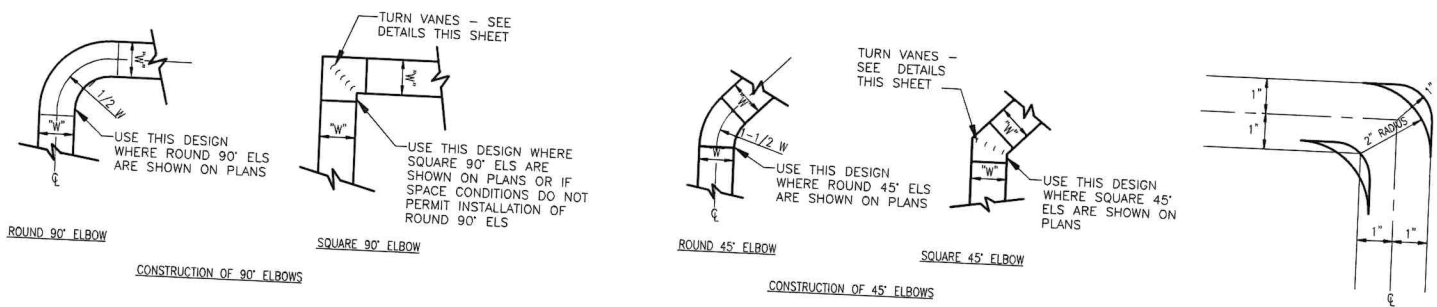


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State of New Jersey
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08/08/2022
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NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NO. 34888 4/1980

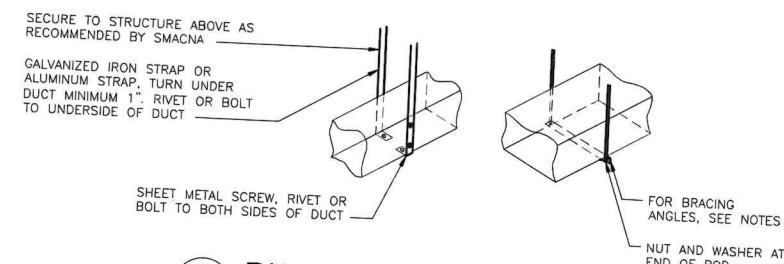
M1.1A



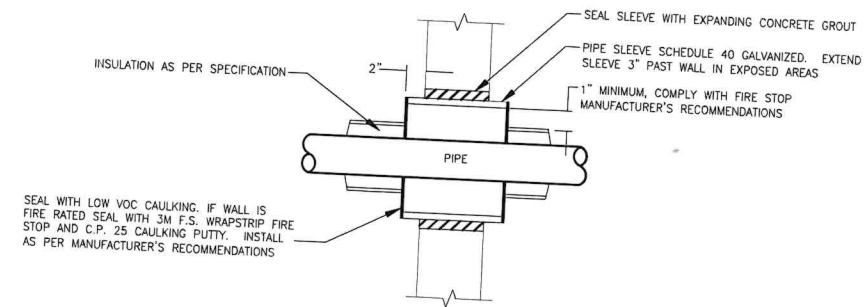
01 DUCTWORK DETAILS
M2.1 NONE

RECTANGULAR DUCT HANGER SCHEDULE (MINIMUM SIZES)

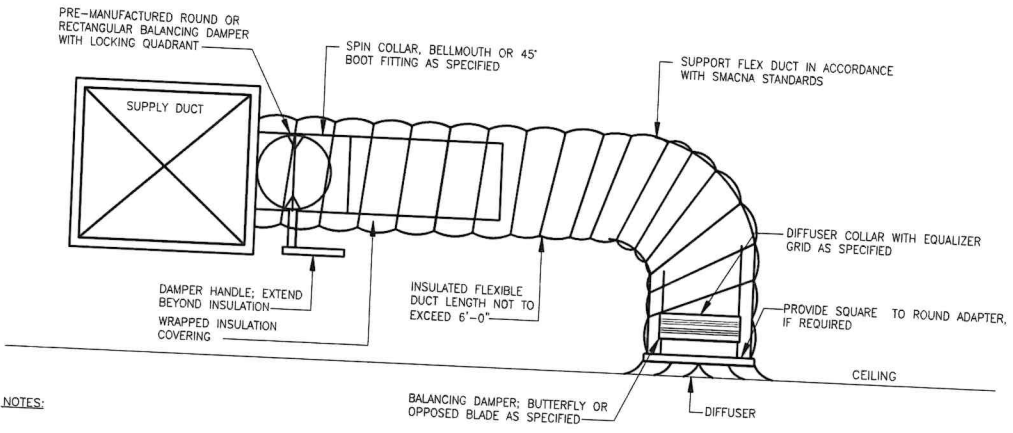
HALF DUCT PERIMETER RANGE	PAIR AT 10' SPACING		PAIR AT 8' SPACING		PAIR AT 5' SPACING		PAIR AT 4' SPACING	
	STRAP	WIRE/ROD	STRAP	WIRE/ROD	STRAP	WIRE/ROD	STRAP	WIRE/ROD
P/2 < 30"	1" 22 GA.	10 GA. (0.135")	1" 22 GA.	10 GA. (0.135")	1" 22 GA.	12 GA. (0.106")	1" 22 GA.	12 GA. (0.106")
P/2 < 72"	1" 18 GA.	3/8"	1" 20 GA.	1/4"	1" 22 GA.	1/4"	1" 22 GA.	1/4"
P/2 < 96"	1" 16 GA.	3/8"	1" 18 GA.	3/8"	1" 20 GA.	3/8"	1" 22 GA.	1/4"
P/2 < 120"	1-1/2" 16 GA.	1/2"	1" 18 GA.	3/8"	1" 18 GA.	3/8"	1" 20 GA.	1/4"
P/2 < 168"	1-1/2" 16 GA.	1/2"	1" 16 GA.	1/2"	1" 16 GA.	3/8"	1" 18 GA.	3/8"
P/2 < 192"	-	1/2"	1-1/2" 16 GA.	1/2"	1" 16 GA.	3/8"	1" 16 GA.	3/8"



03 DUCT HANGER DETAILS
M2.1 N.T.S.

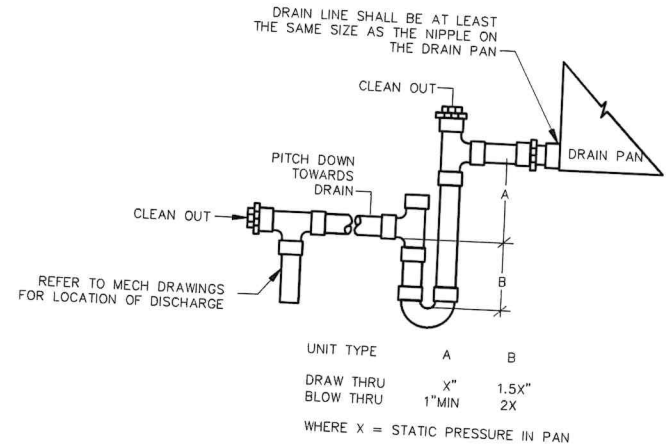


06 PIPE PENETRATION THROUGH WALL
M2.1 NONE

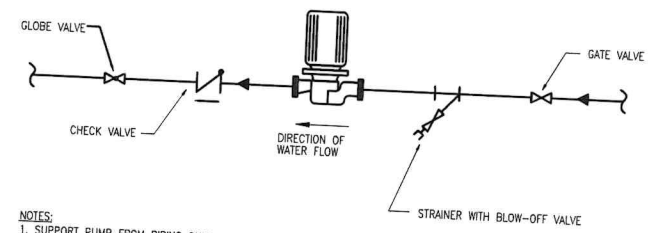


- NOTES:
- PROVIDE AT FLEXIBLE DUCT CONNECTION A METAL DRAWBAND ON THE INTERIOR FLEXIBLE DUCT. SECURE THE INSULATION OVER THE DRAW BAND WITH AN ADDITIONAL DRAWBAND.
 - PROVIDE MINIMUM 2" COLLARS FOR ATTACHMENT OF THE FLEX DUCT TO ROUND DUCT, DAMPERS AND DIFFUSERS.
 - BAND RIGID ROUND DUCT INSULATION TO DUCT AND PROVIDE TAPE FOR INSULATION OVERLAP.

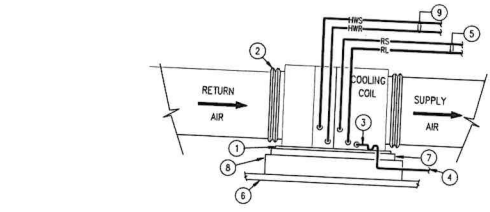
02 FLEXIBLE DUCT INSTALLATION
M2.1 NONE



05 CONDENSATE DRAIN TRAP DETAIL
M2.1 N.T.S.



02 INLINE PUMP DETAIL
M2.2 N.T.S.



- GENERAL NOTES
- DETAIL SIMILAR FOR ALL INSTALLATIONS, UNLESS OTHERWISE INDICATED. CONTRACTOR TO ADJUST CONFIGURATION TO SUIT FIELD CONDITIONS.
 - REFER TO FLOOR PLANS FOR DUCT SIZING.
 - AIR SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, INCLUDING REFRIGERANT PIPE SIZING & MAXIMUM RUN VENT PIPING.
 - FLOOR PLANS DO NOT INCLUDE ALL REQUIRED DETAILS OF THIS INSTALLATION.
 - MAINTAIN REQUIRED ACCESS FOR MAINTENANCE & CLEARANCE TO COMBUSTIBLES.
- KEY NOTES
- NEOPRENE VIBRATION PAD WITH UNITSTRUT SLEEPERS AS REQUIRED TO ACCOMMODATE CONDENSATE TRAP.
 - FLEXIBLE DUCT CONNECTION.
 - PVC A/C CONDENSATE DRAIN.
 - 3/4" PVC TO DISCHARGE IN JANITOR'S SINK IN MECHANICAL CLOSET 60 FEET FROM FURTHEST UNIT. MAINTAIN SLOPE OF 1/8" PER FOOT.
 - REFRIGERANT PIPING TO ASSOCIATED CONDENSING UNIT.
 - DECKING.
 - AUXILIARY DRAIN PAN UNDER UNIT WITH PAN ARM INTERLOCKED WITH UNIT SHUT DOWN.
 - 4" RAISED PLATFORM/HOUSEKEEPING PAD.
 - HOT WATER SUPPLY AND RETURN. SEE COIL CONNECTION DETAIL THIS DRAWING.

07 TYPICAL AIR HANDLER INSTALLATION DETAIL
M2.1 N.T.S.

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REVISIONS:
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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

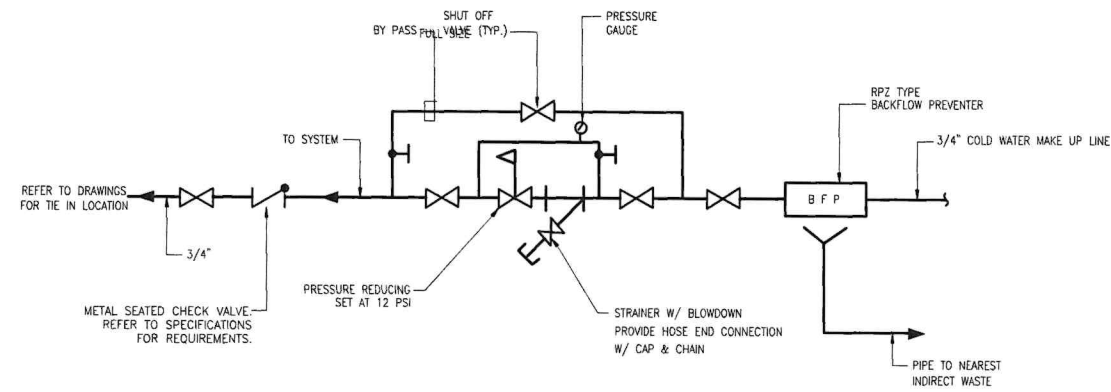


KSI CONSULTING ENGINEERS, LLC
ADDRESS
P.O. BOX 628 FARMINGDALE, NJ 07727
PHONE: 732.938.2666
FAX: 732.938.2521
CERTIFICATE OF AUTHORIZATION NO. 2-40A28124300

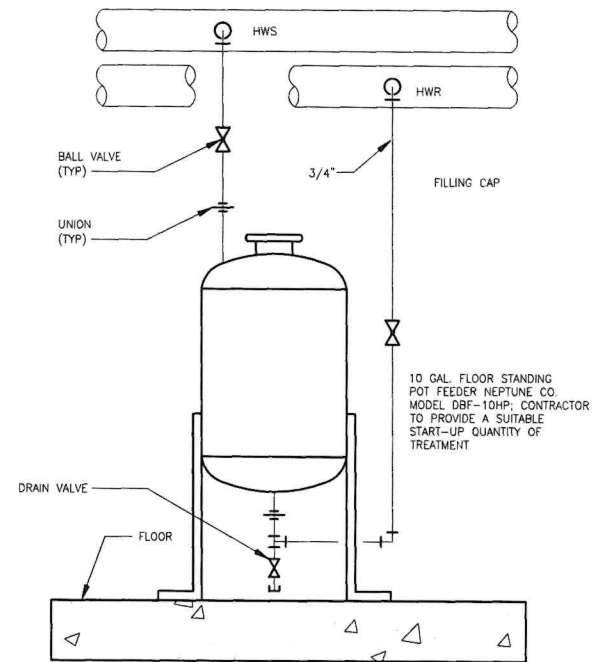
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Paul Ruzick, P.E.
Professional Engineer
State of New Jersey
I.B.P.P. PROJECT SET
08/08/2022
DATE
KSI PROJECT # 2016C_07
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: 451580

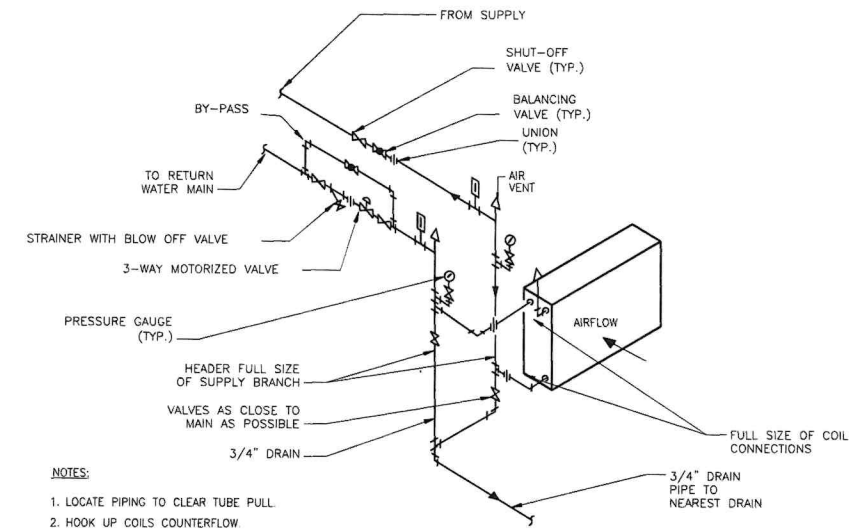
M2.1



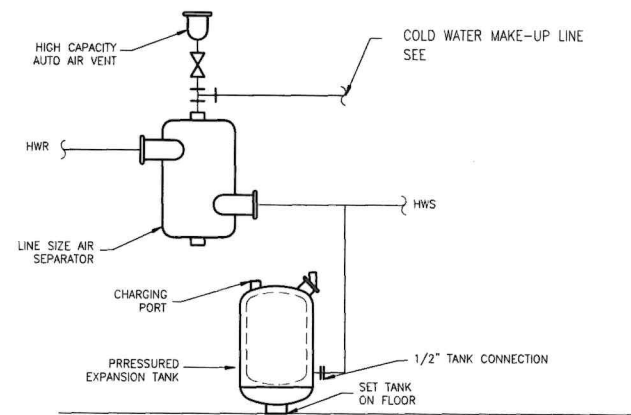
01 COLD WATER MAKEUP
M2.2 NONE



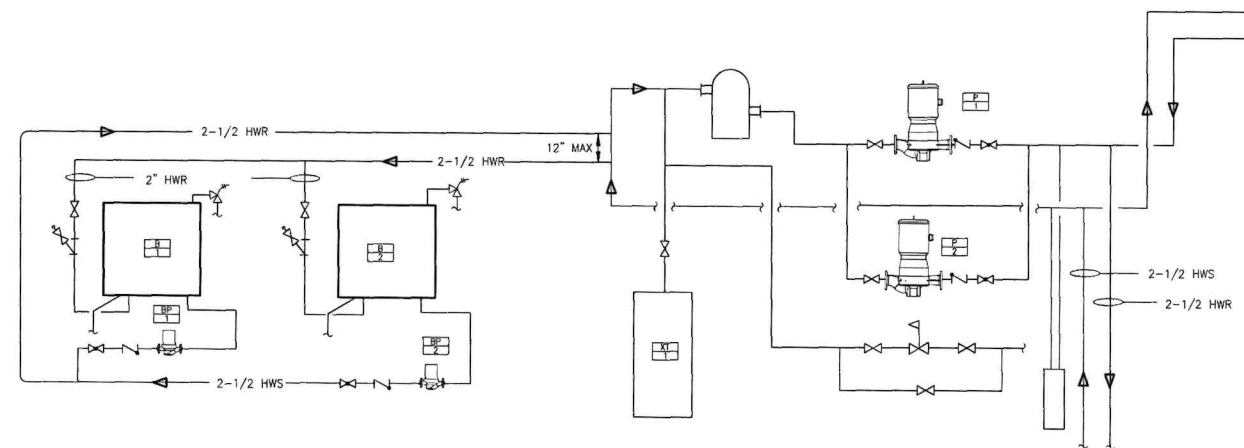
02 CHEMICAL POT FEEDER
M2.0 NONE



03 WATER COIL PIPING DETAIL
M2.2 N.T.S



03 TYPICAL EXPANSION TANK DETAIL
M2.2 NONE



04 BOILER PIPING SCHEMATIC
M2.2 NONE

CONNOLLY & HICKEY
HISTORICAL ARCHITECTS, LLC
P.O. Box 1726
Cranford, N.J. 07016
973 746-4911

THOMAS B. CONNOLLY, AIA
NJ 21A101699200
PA RA403776
MARGARET M. HICKEY, AIA
NJ 21A1018244500
PROJECT No.: 2016C
DATE: 08 AUGUST 2022
REVISIONS:

DRAWN BY: JNS/BC CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY



ASI CONSULTING ENGINEERS, LLC
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Paul Joseph, P.E.
Professional Engineer
State of New Jersey
MEP PROGRESS SET
08/08/2022
DATE
R21 PROJECT # 2016C_07
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: 4512860

M2.2

AIR HANDLING UNIT SCHEDULE (AHU)																										
UNIT ID	MODEL	AREA SERVED	SUPPLY FAN				COOLING COIL						HEATING COIL (REHEAT POSITION)						ELECTRICAL						WEIGHT LBS	NOTES
			SUPPLY CFM	OA CFM	ESP IN. W.G.	MOTOR HP	TOTAL MBH	SENSIBLE MBH	EAT DB/WB	LAT DB/WB	ROWS	TOTAL MBH	EAT DB/WB	LAT DB/WB	EWT F	LWT F	GPM	WATER PD FT	ROWS	VOLTS	PHASE	HERTZ	MCA	MOP		
AHU-1	BCHE072	COMMUNITY RM 1	2000	425	0.5	1.5	72.3	53.75	80/67	55.5/55.4	6	88	55	95	180	152.4	6.38	1.91	1	208	3	60	9.5	15	430	1 THROUGH 6
AHU-2	BCHE072	COMMUNITY RM 2	2000	425	0.5	1.5	69.3	50.08	80/67	57.2/55.9	3	88	55	95	180	152.4	6.38	1.91	1	208	3	60	9.5	15	397	1 THROUGH 6
AHU-3	BCHE054	COMMUNITY RM 3	1500	260	0.75	1	48.3	38.03	80/67	56.9/56.8	6	56	60	95	180	141.4	2.9	0.39	1	208	3	60	5.75	15	346	1 THROUGH 6
AHU-4	BCHE036	KITCHEN/OFFICE	1200	260	0.75	1	37	29.8	80/67	57.5/57.3	6	45	60	95	180	137.6	2.12	1.5	1	208	3	60	5.75	15	293	1 THROUGH 6
AHU-5	BCHE054	COMMUNITY RM 5	1650	170	0.5	1	48.4	40	80/67	57.9/57.8	6	58	62	95	180	140.4	2.93	0.4	1	208	3	60	5.75	15	346	1 THROUGH 6
AHU-6	BCHE036	COMMUNITY RM 4	1200	170	0.5	1	36.9	29.7	80/67	57.5/57.3	6	46.2	60	95	180	140.4	2.33	1.79	1	208	3	60	5.75	15	293	1 THROUGH 6
AHU-7	BCHE036	CORRIDOR	1100	100	0.75	1	33.6	25.8	80/67	58.7/57.4	3	40	63	95	180	130.2	1.6	0.9	1	208	3	60	5.75	15	273	1 THROUGH 6

NOTES

- SELECTION BASED ON TRANE.
- COOLING PERFORMANCE AT 95F OUTDOOR AIR TEMP
- COMBINATION STARTER/DISCONNECT
- MERV 13 FILTERS
- WIRELESS DISPLAY SENSOR WITH UNIT MOUNTED RECIEVER
- FACTORY MOUNTED CONTROLLER WITH FAN STATUS, CONDENSATE OVERFLOW LOW LIMIT, OUTSIDE AIR, AND DISCHARGE AIR SENSOR. AHU-1&AHU-2 TO HAVE ECONOMIZER CONTROLLER WITH DUAL ENTHALPY.
- DEHUMIDIFICATION WITH LOCAL HUMIDITY SENSOR
- DELUXE PIPING PACKAGE INCLUDES SHUT OFF BALL VALVE, STRAINER, CIRUIT SETTER CIRCUIT SETTER TWO WAY CONTROL VALVE AND BALANCING FITTING ON BYPASS LINE.

CONDENSING UNIT SCHEDULE (CU)												
Unit No.	Nominal Cooling Cap (Tons)	Model	Matched Indoor Unit	Cooling Performance				Electrical Data			Net Wt (lbs)	NOTES
				Outdoor DB (°F)	Total (MBH)	Sensible (MBH)	DX Cooling Efficiency EER/SEER	Voltage	MCA	MOPCP		
CU-1	6	TTA07243	AHU-1	95	72.3	53.75	11.5	208/230-3-60	27	45	241	1,2,3,4
CU-2	6	TTA07243	AHU-1	95	69.3	50.08	11.5	208/230-3-60	27	45	241	1,2,3,4
CU-3	4	4TTA7048	AHU-3	95	48.3	38.03	17	208/230-3-60	18	30	248	1,2,3,4
CU-4	3	4TTA7036	AHU-4	95	37	29.8	17	208/230-3-60	15	25	245	1,2,3,4
CU-5	4	4TTR7048	AHU-5	95	48.4	40	17	208/230-3-60	18	30	248	1,2,3,4
CU-6	3	4TTR7036	AHU-6	95	36.9	29.7	17	208/230-3-60	15	25	245	1,2,3,4
CU-7	3	4TTA7036	AHU-7	95	33.6	25.8	17	208/230-3-60	15	25	245	1,2,3,4

NOTES

- SELECTIONS BASED ON EQUIPMENT MANUFACTURED BY TRANE.
- POWER DISCONNECT SWITCH
- HALLGUARD
- POWERED CONVENIENCE OUTLET

EXHAUST FAN SCHEDULE (EF)													
UNIT ID	MODEL NUMBER	TYPE	INTERLOCKED WITH	CFM	ESP IN. W.G.	DRIVE	MOTOR HP	WEIGHT LBS	ELECTRICAL			NOTES	
									VOLTS	PHASE	HERTZ		
EF-1	135SQN17DEC	INLINE	AHU-1	2,000	0.5	DIRECT	3/4	76	115	1	60		
EF-2	135SQN17DEC	INLINE	AHU-2	2,000	0.5	DIRECT	3/4	76	115	1	60		
EF-3	70SON-B	INLINE	AHU-3	260	0.75	BELT	1/4	100	208	3	60		
EF-4	70SON-B	INLINE	AHU-3	260	0.75	BELT	1/4	100	208	3	60		

NOTES

- SELECTION BASED ON LOREN COOK OR APPROVED EQUAL.
- PROVIDE DISCONNECT
- MOTOR OPERATED DAMPER

BOILER SCHEDULE (B)								
NO.	MANUFACTURER	MODEL	INPUT MBH	OUTPUT MBH	FLUE SIZE (")	EFFICIENCY (%)	WEIGHT (LBS)	NOTES
B-1	TRIANGLE TUBE	SOLO 250	65-245	240	3	95	142	1 THRU 9
B-2	TRIANGLE TUBE	SOLO 250	65-245	240	3	95	142	1 THRU 9

NOTES:

- FULL MODULATION FROM 25%
- STAINLESS STEEL HEAT EXCHANGER & BURNER
- 30 PSI PRESSURE RELIEF VALVE
- AUTOMATIC AIR VENT
- PRESSURE GAUGE
- CONDENSATE DRAIN ASSEMBLY
- NTC TEMPERATURE SENSORS ON THE BOILER SUPPLY/RETURN AND FLUE
- 120V POWER SWITCH
- BOILER TO BE COMPLETE WITH GRAPHIC INTERFACE CONTROLLER WITH OUTDOOR RESET PRESET CURVES AND CIRCULATOR CONTROL

ACCESSORIES

- WALL KIT
- CONCENTRIC VENT KIT
- 10 YEAR PARTS & LABOR PLAN
- CONDENSATE NEUTRALIZER KIT

PUMP SCHEDULE (P)												
UNIT ID	MODEL NUMBER	TYPE	LOCATION	SERVICE	GPM	HEAD FT.	PUMP RPM	MOTOR W/HP	ELECTRICAL			NOTES
								VOLTS	PHASE	HERTZ		
BP-1	ASTRO 210	IN-LINE CIRCULATOR	MECH RM	B-1	20	12	200 W	115	1	60	1,2	
BP-2	ASTRO 210	IN-LINE CIRCULATOR	MECH RM	B-2	20	12	200 W	115	1	60	1,2	
P-1		IN-LINE CIRCULATOR	MECH RM		40			115	1	60	1,2	
P-2		IN-LINE CIRCULATOR	MECH RM		40			115	1	60	1,2	

NOTES:

- SELECTIONS BASED ON ARMSTRONG.
- PROVIDE DISCONNECT/STARTER

DIFFUSER AND REGISTER SCHEDULE				
UNIT ID	MODEL	SIZE	DESCRIPTION	REMARKS
A	ASDA	24" x 24"	ALUMINUM SUPPLY DIFFUSER, ROUND NECK, 4 CONE, FULL FACE.	1 THROUGH 7
B	ASDA	12" x 12"	ALUMINUM SUPPLY DIFFUSER, ROUND NECK, 4 CONE, FULL FACE, 6" NECK	1 THROUGH 7
C	630D	24" x 24"	ALUMINUM SINGLE DEFLECTION LOUVERED RETURN WITH 45 DEGREE ANGLE AND 3/4" SPACING	1,2,3,4,6
D	630D	12" x 12"	ALUMINUM SINGLE DEFLECTION LOUVERED RETURN WITH 45 DEGREE ANGLE AND 3/4" SPACING	1,2,3,4,6

NOTES:

- SELECTIONS ARE BASED ON PRICE INDUSTRIES.
- FLEXIBLE DUCTS CONNECTING THE DIFFUSERS SHALL BE FULL SIZE OF NECK DIAMETER OR EQUIVALENT.
- MAXIMUM NOISE CRITERION RATING < 25 DBA.
- BAKED ENAMEL WHITE FINISH
- DIFFUSERS SHALL BE 4-WAY BLOW UNLESS OTHERWISE INDICATED ON PLANS.
- MOUNTING FRAME TYPE SHALL BE COORDINATED WITH CEILING/WALL CONSTRUCTION TYPE
- NECK SIZE TO BE PER TABLE.

NECK SIZE TABLE	
UP TO 275 CFM	8" DIAMETER
276 TO 380 CFM	10" DIAMETER
381 TO 500 CFM	12" DIAMETER
501 TO 700 CFM	14" DIAMETER
701 TO 901 CFM	15" DIAMETER

HOT WATER UNIT HEATER SCHEDULE (UH & CUH)											
UNIT ID	LOCATION	MODEL NUMBER	CFM	GPM	MBH	PD	HP	VOLTS	PH	AMPS	NOTES
UH-1-10	BASEMENT	JHS-18	395	1.3	10	0.01	16 W	115	1	1	1,2,3,4
CUH-1	VESTIBULE 002	FFB02	200	1.9	20	4	1/8	115	1	2.7	1,2,3,4
CUH-2	VESTIBULE 109	FFB02	200	1.0	20	2	1/8	115	1	2.2	1,2,3,4

NOTES:

- SELECTION BASED ON TRANE
- PROVIDE THERMOSTAT.
- PIPING PACKAGE W/ 2-WAY CONTROL VALVE
- PROVIDE DISCONNECT SWITCH AND MOTOR STATER

CONNOLLY & HICKEY
HISTORICAL ARCHITECTS, LLC

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973 746-4911

THOMAS B. CONNOLLY, AIA
NJ 21A10169200
PA RA403776
MARGARET M. HICKEY, AIA
NJ 21A1018244500

PROJECT No : 2016C
DATE : 08 AUGUST 2022

REVISIONS :

DRAWN BY: M3M/CR/PC

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY



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24GA28124300

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THOMAS B. CONNOLLY, P.E.
Professional Engineer
State of New Jersey
MEP PROJECT SET
08/08/2022
DATE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER 4318000

M3.1

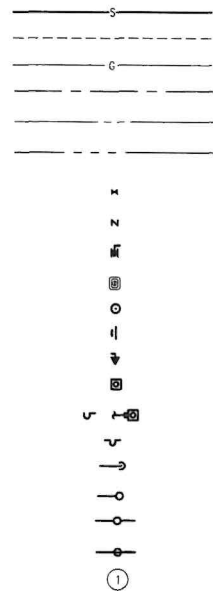
PLUMBING GENERAL NOTES

- DO NOT SCALE FROM THESE DRAWINGS.
- DO NOT MAKE ANY CHANGES OR SUBSTITUTIONS WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER.
- ALL INDICATED WORK SHALL BE PERFORMED BY THE PLUMBING CONTRACTOR UNLESS OTHERWISE NOTED.
- PROVIDE C.O.'S AT THE BASE OF ALL SANITARY AND STORM STACKS.
- IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED HVAC, FIRE PROTECTION, ELECTRICAL, STRUCTURAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWING TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. IN ADDITION, THIS CONTRACTOR MUST COORDINATE WITH AN OWNER REPRESENTATIVE TO FULLY UNDERSTAND ALL REQUIREMENTS WHICH MAY NOT BE SPECIFIED HEREIN AND WHICH THE OWNER MAY CONSIDER PART OF THIS CONTRACT. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO WORK CLOSELY WITH ALL ACCOMPANYING CONTRACTORS AND TRADESMEN IN ORDER TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
- ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND THE RELATED HVAC, FIRE PROTECTION, ELECTRICAL, STRUCTURAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS, OR BETWEEN THESE BID DOCUMENTS AND FIELD CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER, ARCHITECT AND ENGINEER PRIOR TO BID SUBMISSION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL PLUMBING MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE PLUMBING CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
- THE PLUMBING CONTRACTOR MUST VISIT THE SITE AND NOTE ALL EXISTING CONDITIONS AS WELL AS ALL CONDITIONS TO BE MET, PRIOR TO BID SUBMISSION. LACK OF A THOROUGH UNDERSTANDING OF THE PROJECT SCOPE AND CONDITIONS SHALL NOT CONSTITUTE AN EXCUSE FOR ERRORS OR OMISSIONS, NOR FOR A REQUEST FOR EXTRA COMPENSATION.
- IT IS CRITICAL THAT THE PLUMBING CONTRACTOR FIELD VERIFIES ALL EXISTING INVERTS PRIOR TO BID SUBMISSION. IF ANY CONFLICTS EXIST BETWEEN THE NEW PLUMBING SYSTEMS AND THE EXISTING SITE LEVEL SYSTEMS, THEY SHOULD BE BROUGHT TO THE ATTENTION OF AN OWNER'S REPRESENTATIVE AND THE ENGINEER PRIOR TO BID SUBMISSION. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR ANY EXTRA WORK WHICH RESULTS FROM AN INABILITY TO MEET THE INVERTS OF THE EXISTING SITE LEVEL PIPING SYSTEMS.
- THE PLUMBING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF RECORD "AS-BUILT" DRAWINGS INDICATING THE PRECISE LOCATION OF ALL SYSTEMS, EQUIPMENT CONCEALED OR EMBEDDED PIPING, PIPING CONNECTIONS AND ACCESS DOORS. THESE DRAWINGS SHALL ALSO INCLUDE ALL CHANGES AND DEVIATIONS FROM BID DOCUMENTS.
- RUN ALL DOMESTIC, WASTE & VENT PIPING AS HIGH AS POSSIBLE THROUGHOUT ENTIRE BUILDING. INSTALL LONG RUNS OF PIPING WITHIN STEEL (JOIST) SPACE AND OTHER PIPING TIGHT TO BOTTOM OF STEEL. COORDINATE AND VERIFY WITH OTHER CONTRACTORS AS NOT TO INTERFERE WITH DUCTWORK, FIRE PROTECTION PIPING, LIGHTING SYSTEMS, ETC.
- ALL EXPOSED HORIZONTAL AND VERTICAL PIPING SHALL BE INSTALLED IN A NEAT ARRANGEMENT IN LOCATIONS WHICH ARE THE MOST INCONSPICUOUS. VERTICAL DROPS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND THEIR FINAL LOCATIONS SHALL BE COORDINATED AND RUN WITHIN CHASES, WALLS, SOFFITS WITH OTHER MECHANICAL/ELECTRICAL FEEDS. ALL SUCH LOCATIONS ARE TO BE REVIEWED WITH AN OWNER REPRESENTATIVE AND ARCHITECT PRIOR TO INSTALLATION.
- ALL PLUMBING FIXTURES/APPLIANCES SHALL HAVE THEIR OWN INDEPENDENT SHUT-OFF VALVES, INSTALLED IN AN EASILY ACCESSIBLE AND CONVENIENT LOCATION.
- ALL DOMESTIC WATER BRANCH LINES SHALL HAVE THEIR OWN RESPECTIVE SHUT-OFF VALVES.
- DOMESTIC HOT WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVES SHALL BE PIPED FULL SIZE TO THE NEAREST APPROVED STANDPIPE OR FLOOR DRAIN. THIS REQUIREMENT SHALL BE APPLICABLE TO ALL DOMESTIC WATER HEATERS EXCEPT INSTANTANEOUS WATER HEATERS.
- ALL PLUMBING VENT LINES NOTED AS "V. UP" OR "VENT UP" SHALL BE CONNECTED TO THE NEAREST APPROVED "V.T.R." OR "VENT THRU ROOF".
- PRIOR TO INSTALLING SYSTEMS, THE PLUMBING CONTRACTOR SHALL MEET WITH THE ARCHITECTS REPRESENTATIVE TO FIELD VERIFY THE EXACT LOCATION OF ALL PROPOSED EQUIPMENT WHICH MAY NOT BE CLEARLY INDICATED ON THE DRAWINGS.
- SANITARY SEWER PIPING SHOWN IS BASED ON .25" PER FOOT FALL FOR ALL PIPING SMALLER THAN 4", AND .125" PER FOOT FALL FOR ALL PIPING 4" AND LARGER.

DEMOLITION NOTES

- ALL PIPING AND EQUIPMENT TO BE REMOVED SHALL BE REMOVED BACK TO NEAREST STACK, RISER, OR MAIN IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS/STANDARDS, CODES AND AUTHORITY HAVING JURISDICTION.
- REMOVE ANY ABANDONED AND/OR UNUSED PIPING DISCOVERED DURING DEMOLITION. THERE SHALL BE NO DEAD-ENDS GREATER THAN 24 INCHES IN ANY PLUMBING PIPING SYSTEMS.
- DURING DEMOLITION ANY DAMAGES DISCOVERED IN EXISTING PIPING TO REMAIN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL EXISTING PIPING AND APPURTENANCES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGES INCURRED SHALL BE REPAIRED OR REPLACED AT NO COST BY THIS CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE, NOTIFY, AND SCHEDULE ALL REMOVALS WITH THE CONSTRUCTION MANAGER PRIOR TO PROCEEDING WITH THE WORK.
- THIS CONTRACTOR SHALL INCLUDE ALL COSTS FOR REMOVAL AND RELOCATIONS IN THE CONTRACT.
- THE CONTRACTOR PRIOR TO BID SHALL VISIT THE SITE, EXAMINE THE EXISTING CONDITIONS, DRAWINGS AND COORDINATE THE EXACT SCOPE OF WORK WITH THE ARCHITECT AND CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL COORDINATE ALL SHUTDOWNS AND IDENTIFY ANY WORK WHICH MAY BE REQUIRED TO BE PERFORMED ON OVERTIME IN ORDER NOT TO DISTURB OCCUPIED SPACES WHICH ARE NOT WITHIN THE SCOPE OF THIS CONTRACT. OBTAIN WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER PRIOR TO PERFORMING ANY SHUTDOWNS OR PERFORMING WORK ON OVERTIME.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION AND PHASING SEQUENCE.

PLUMBING SYMBOLS



- SANITARY WASTE
- VENT LINE
- PROANE GAS
- COLD WATER
- HOT WATER
- HOT WATER RETURN
- BALL VALVE
- CHECK VALVE
- BALANCING VALVE
- GAS PRESSURE REGULATOR
- CLEAN OUT DECK PLATE
- HORIZONTAL CLEANOUT
- GAS COCK
- FLOOR DRAIN
- P TRAP
- TRAP
- PIPE DOWN, DROP & RISE
- PIPE UP
- TEE PLAN UP
- TEE PLAN DOWN
- KEY NOTE

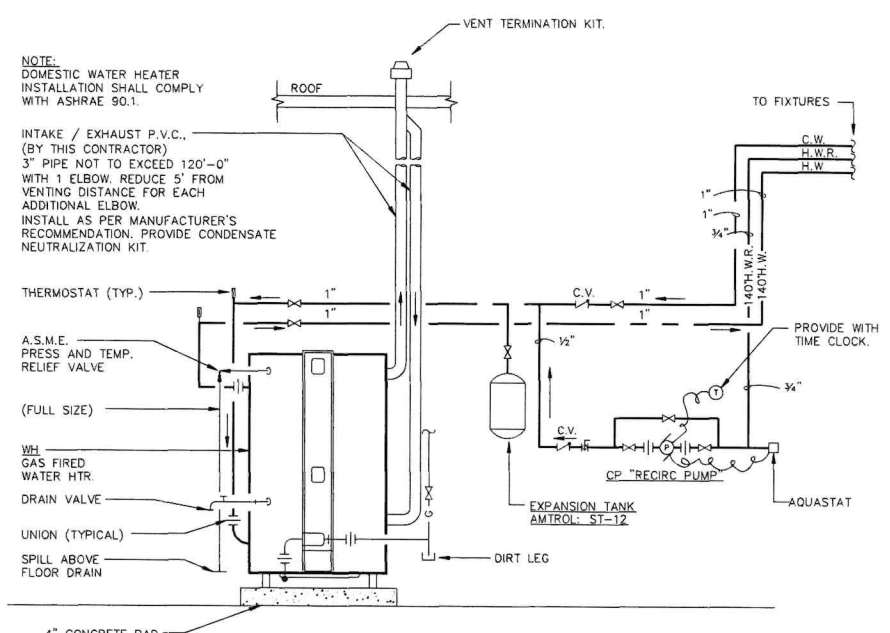
PLUMBING ABBREVIATIONS

- A.F.W.H.
- A.D.
- A.F.F.
- B.F.P.
- CA
- CO.
- C.O.D.P.
- D.J.
- EXIST.
- E.W.C.
- F.A.I.
- FD.
- G.E.
- H.B.
- I.E.
- LAV.
- LDR.
- N.C.
- N.I.C.
- O.F.
- O.R.D.
- O.W.
- R.D.
- S.
- SK.
- S.S.
- ST.
- T.E.
- UR.
- VAC.
- V.B.
- V.T.R.
- W.
- W.C.
- W.C.O.

NOTE:
DOMESTIC WATER HEATER
INSTALLATION SHALL COMPLY
WITH ASHRAE 90.1.

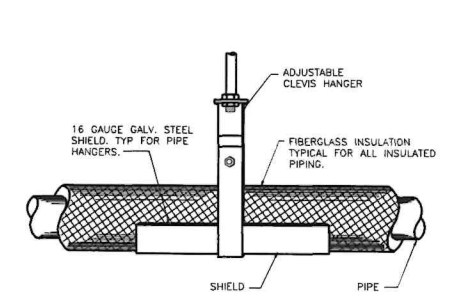
INTAKE / EXHAUST P.V.C.,
(BY THIS CONTRACTOR)
3" PIPE NOT TO EXCEED 120'-0"
WITH 1 ELBOW, REDUCE 5' FROM
VENTING DISTANCE FOR EACH
ADDITIONAL ELBOW.
INSTALL AS PER MANUFACTURER'S
RECOMMENDATION, PROVIDE CONDENSATE
NEUTRALIZATION KIT.

01 WATER HEATER INSTALLATION
N.T.S.

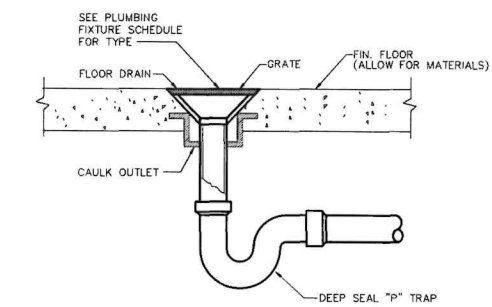


NO.	FIXTURE	MFG.	TYPE AND MODEL NO.	TRIM NO.	SUPPLY PIPE NO.	TRAP NO.	SUPPORT NO.	PIPE SIZES					REMARKS
								TRAP	WASTE	VENT	CW	HW	
P-1	WATER CLOSET	AMERICAN STANDARD	MADERA 3451001.020	SLOAN ROYAL 111-1.2B	-	-	-	4"	2"	1"	-	-	ELONGATED OPEN FRONT SEAT. 1.28 G.P.F. SENSOR OPERATED FLUSH VALVE.
P-1A	WATER CLOSET (ADA)	AMERICAN STANDARD	MADERA 3461001.020	SLOAN ROYAL 111-1.2B	-	-	-	4"	2"	1"	-	-	ELONGATED OPEN FRONT SEAT. 1.28 G.P.F. SENSOR OPERATED FLUSH VALVE.
P-2	URINAL	AMERICAN STANDARD	WASHBROOK 6590.001	SLOAN ROYAL 186-0.125	-	MIFAB	-	2"	2"	1-1/2"	1"	-	0.125 G.P.F.
P-3	LAVATORY 2 STATION	BRADLEY	LD-3010-2-SL-T01-SW BS-BSS-FA-TMA-PT-LDTRAP	IR-DCD	McGUIRE 158-LK	LD-TRAP P-TRAP-C	-	1-1/4"	1-1/2"	1-1/2"	1/2"	1/2"	DUAL STATION LAVATORY W/WASTE RECEPTACLE, SOAP DISPENSER, THERMOSTATIC MIXING VALVE, SENSOR FAUCET, PLUG IN TRANSFORMER.
P-4	MOP RECEPTOR	FIAT	MSB2424	830-AA 1453-BB	-	-	-	3"	3"	2"	3/4"	3/4"	WITH WALL GUARD, BBS-CC MOP BRACKET, 832-AA HOSE & BRACKET.
P-5	ELECTRIC WATER COOLER	ELKAY	LZSTLWLSLK	-	McGUIRE 158	-	-	1-1/4"	1-1/2"	1-1/2"	1/2"	-	8.0 GPH, 6 AMPS, 370 WATTS, 115 V.
FD	FLOOR DRAIN	MIFAB	FD230	-	-	P-TRAP	-	-	-	-	-	-	PROVIDE WITH STAINLESS STEEL STRAINER.
F.S.	FLOOR SINK	MIFAB	FS1720-150	-	-	P-TRAP	-	-	-	-	-	-	WITH 1/2 GRATE AND DOME STRAINER
A.F.W.H.	ANTI-FREEZE WALL HYDRANT	MIFAB	MYH-20	-	-	-	-	-	-	-	-	-	PROVIDE WITH VACUUM BREAKER AND OPERATION KEY.
T.P.	TRAP PRIMER	PPP, INC.	-	-	-	-	-	-	-	-	-	-	PROVIDE TRAP PRIMER TO ALL FLOOR DRAINS.

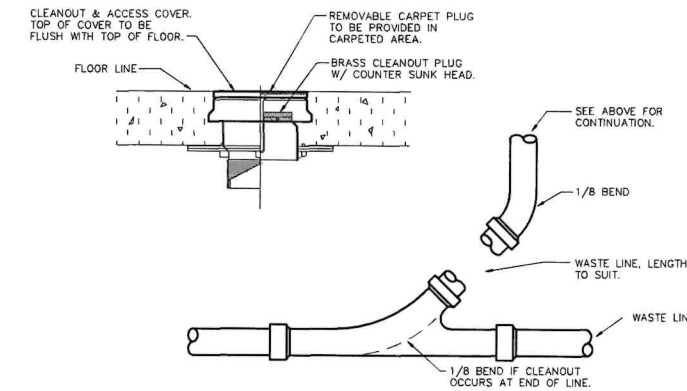
PLUMBING EQUIPMENT SCHEDULE												
GENERAL				DESIGN DATA				ELECTRICAL				REMARKS
ITEM	SERVICE	MFR.	NO.	LOCATION	CAPACITY	PUMP HEAD	H.P./K.W.	R.P.M.	VOLTS	PHASE	HZ.	
WH-1	WATER HEATER	BRADFORD WHITE	EF-607-125E-3N	SEE DWG'S	60 GAL	160 GAL @ 90 DEG. RISE	---	---	115	1	60	125 M.B.H. INPUT, PROVIDE NEUTRALIZATION FOR CONDENSATE DRAIN.
G.I.	GREASE INTERCEPTOR	SCHIER	GB-2	SEE DWG'S	3 GPM/130 LBS GREASE CAPACITY	---	---	---	---	---	---	PROVIDE EXTENSION RISER. INSTALL FLUSH WITH FINISHED FLOOR
CP-1	CIRC. PUMP	BELL&OSSETT	NBF-85/LW	SEE DWG'S	1 G.P.M.	1 G.P.M. @ 7 T.D.H.	39	WATTS	2800	120	1	60 PROVIDE WITH TIME CLOCK. TC-1



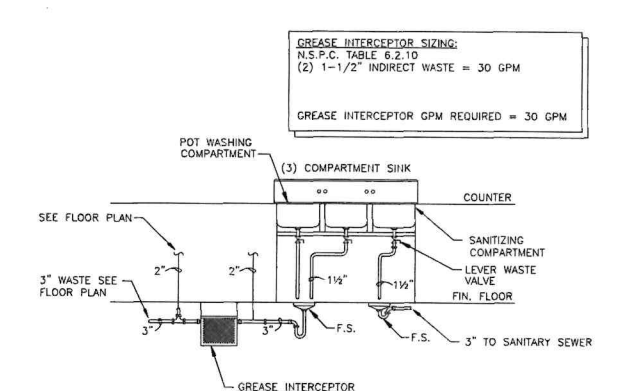
02 TYPICAL HANGER DETAIL
N.T.S.



03 TYPICAL FLOOR DRAIN DETAIL
N.T.S.



04 TYPICAL FLOOR CLEANOUT DETAIL
N.T.S.



05 GREASE INTERCEPTOR DETAIL
N.T.S.

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973 746-4911

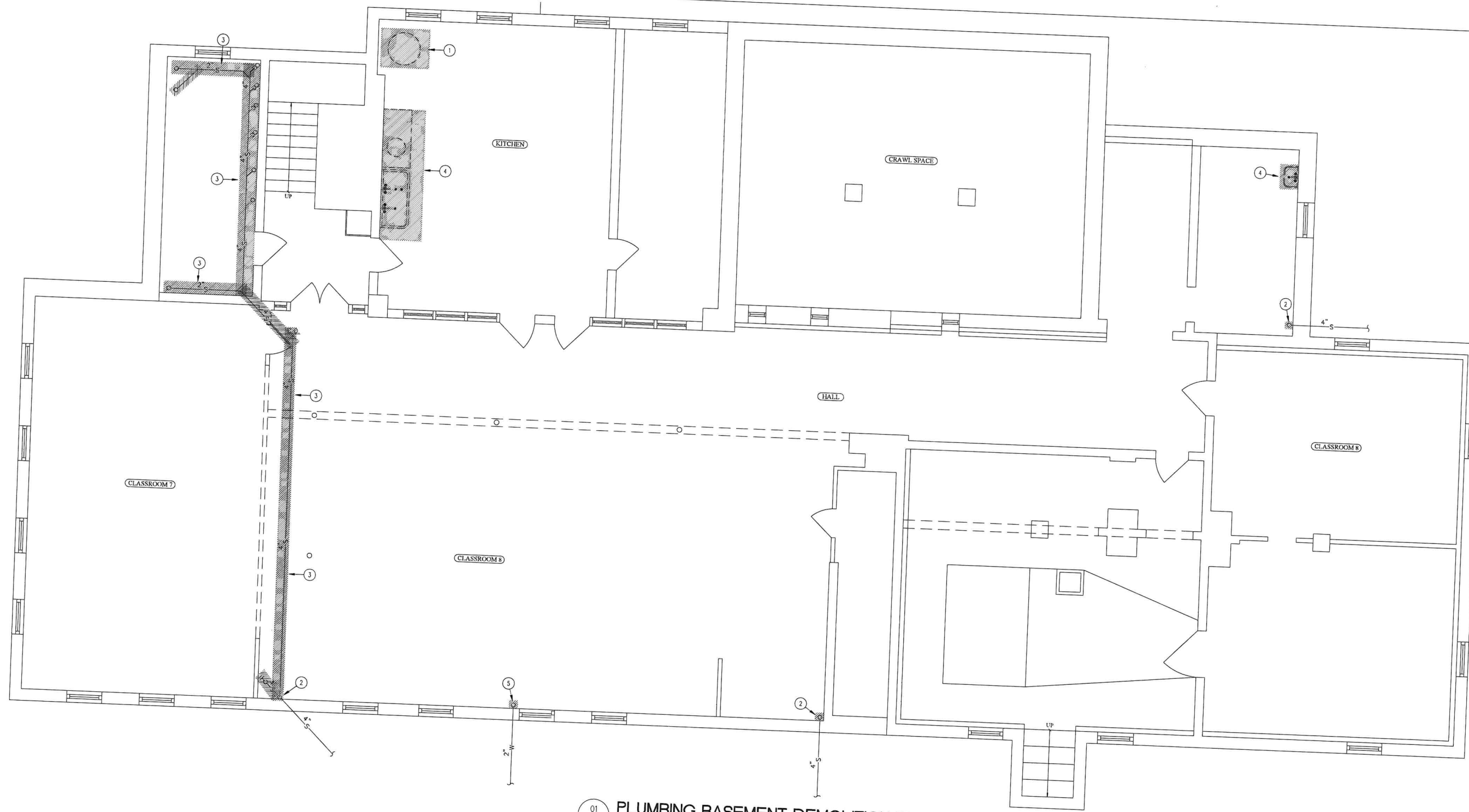
THOMAS B. CONNOLLY, AIA
NJ 21A01692900
PA R.403776
MARGARET M. HICKEY, AIA
NJ 21A01824500

PROJECT No.: 2016C
DATE: 08 AUGUST 2022
REVISIONS:

DRAWN BY: MSA/MB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

P0.1



01 PLUMBING BASEMENT DEMOLITION PLAN
 PD1.0 1/4" = 1'-0"

KEY NOTES

1. EXISTING WATER HEATER AND ALL EXISTING PIPING TO BE REMOVED. CONTRACTOR TO VERIFY EXISTING IN FIELD.
2. EXISTING SANITARY SEWER MAIN PIPING TO BE REMOVED AND REPLACED. CONTRACTOR TO VERIFY EXISTING IN FIELD.
3. EXISTING SANITARY PIPING TO BE REMOVED. CONTRACTOR TO VERIFY EXISTING IN FIELD.
4. EXISTING PLUMBING FIXTURE(S) AND ALL ASSOCIATED PIPING TO BE REMOVED. CONTRACTOR TO VERIFY EXISTING IN FIELD.
5. EXISTING DOMESTIC WATER MAIN PIPING TO BE REMOVED AND CAPPED.



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 PHONE:
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 FAX:
 732.938.2521
 CERTIFICATE OF AUTHORIZATION NO.
 24GA28124300

ALL DIMENSIONS AND NOTATIONS ARE BASED ON THE ORIGINAL AND UNREVISED WORK OF THE ENGINEER. THE CONTRACTOR OR THE OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF THE WORK AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS OF THE WORK.

Paul Joseph, P.E.
 Professional Engineer
 State of New Jersey
 1-MEP PROCESS SET
 08/08/2022
 DATE
 8.8 PROJECT # 2016C_01
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER 451900

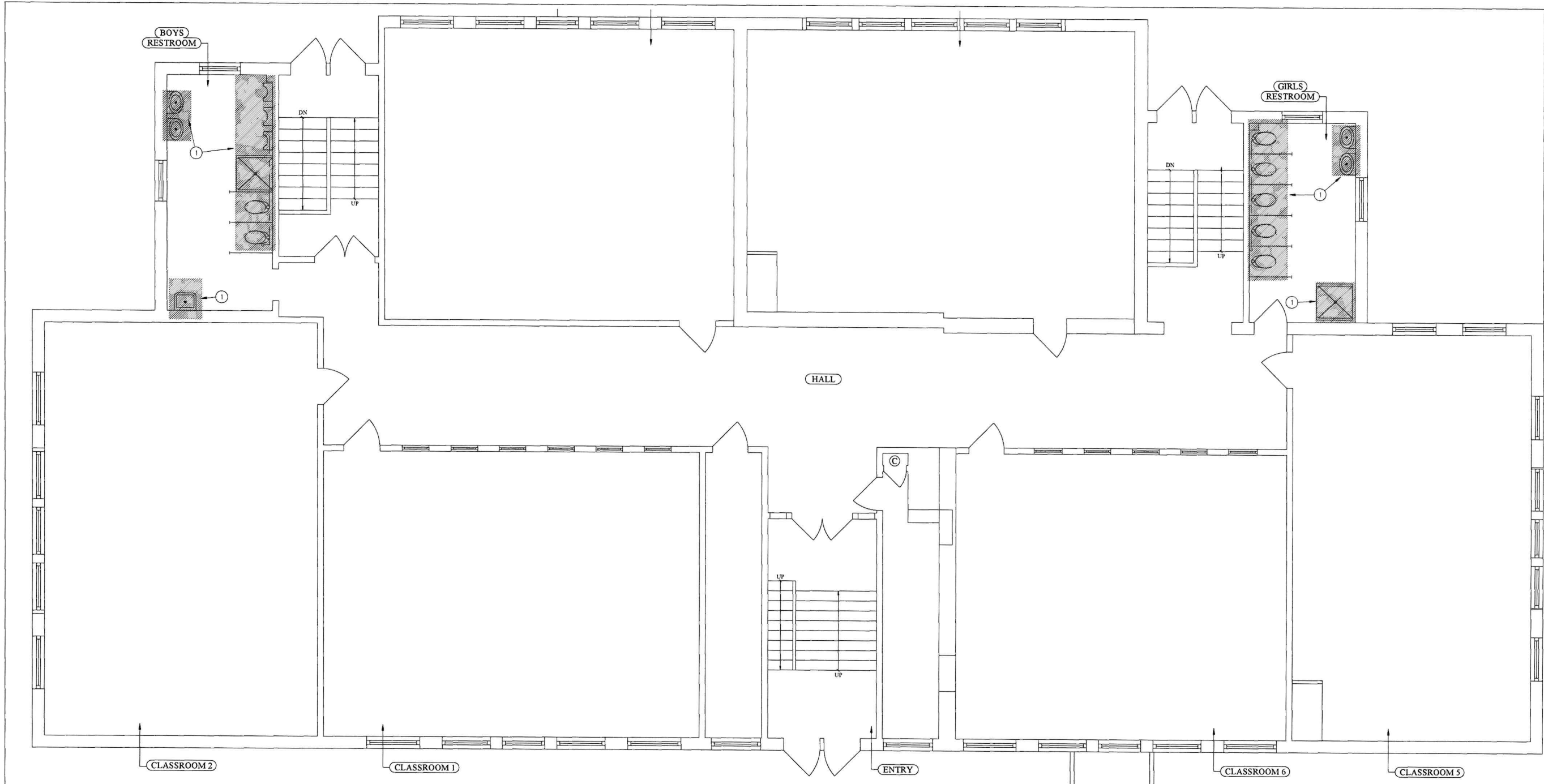
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 973 746-4911

THOMAS B. CONNOLLY, AIA
 NJ 21A01699200
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 MARGARET M. HICKEY, AIA
 NJ 21A018244500
 PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MAJ, CB, FK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

PD1.0



01 PLUMBING FIRST FLOOR DEMOLITION PLAN
 PD1.1 1/4"=1'-0"

KEY NOTES

- 1. EXISTING PLUMBING FIXTURE(S) TO BE REMOVED. REMOVE ALL ASSOCIATED PIPING.

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 MARGARET M. HICKEY, AIA
 NJ 21A018244500

PROJECT No. 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MARR, CB, PK

RESTORATION AND REHABILITATION
 WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

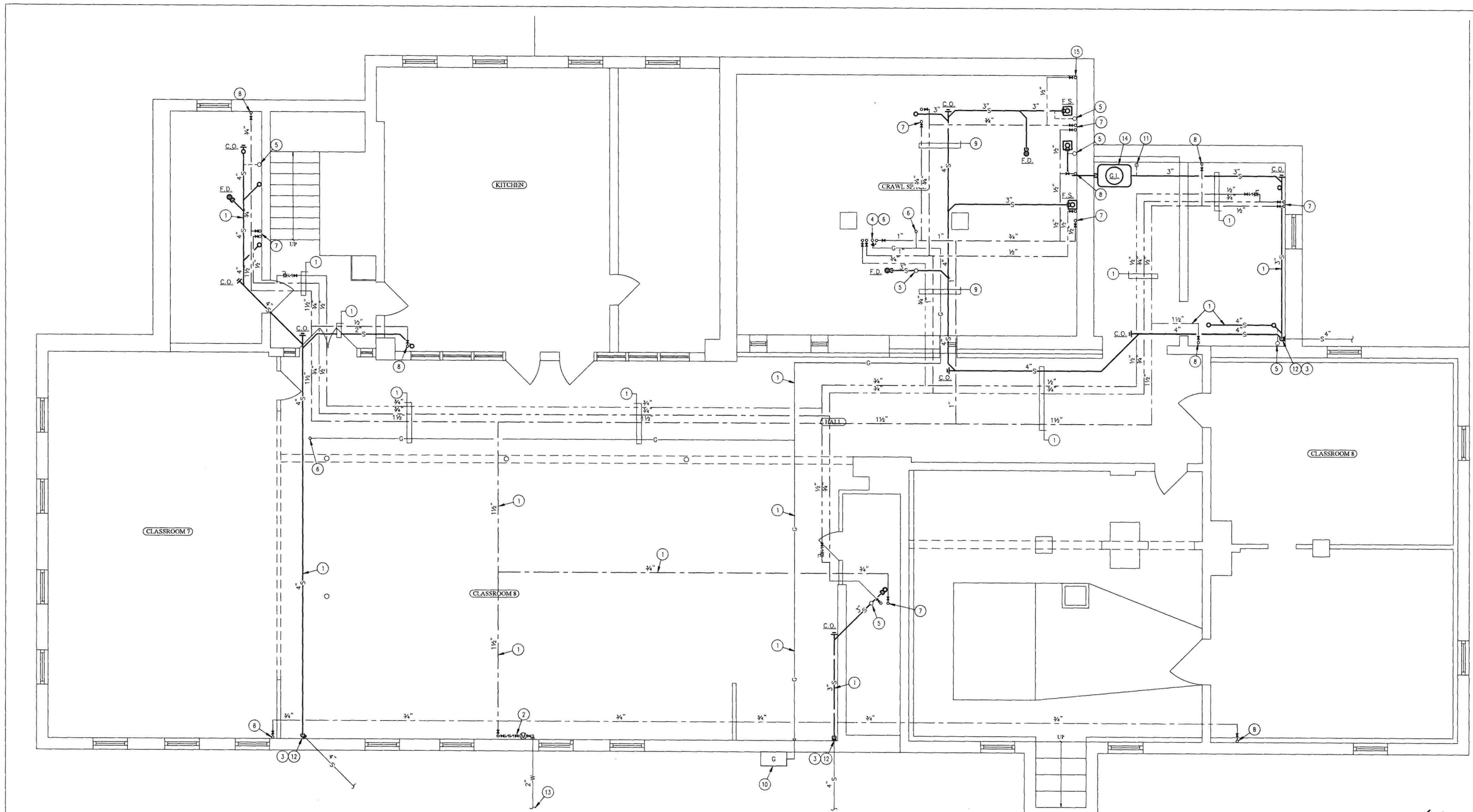


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 OR TRANSMISSION OF THIS DRAWING OR WRITTEN MATERIALS SHALL BE
 CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ENGINEER
 AND A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ARCHITECT.

Paul Joseph, P.E.
 Professional Engineer
 State of New Jersey
 MEP PROGRESS SET
 08/08/2022
 DATE
 KSI PROJECT # 2016C_01
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER 4313860

PD1.1



01 PLUMBING BASEMENT NEW WORK PLAN
 PT.0 1/4"=1'-0"

KEY NOTES

1. PIPING LOCATED AT BASEMENT CEILING. (TYP.)
2. DOMESTIC WATER METER AND BACK FLOW PREVENTION DEVICE. INSTALL IN ACCORDANCE WITH UTILITY REQUIREMENTS. PIPE ALL DRAINS TO OUTSIDE OF BUILDING.
3. SAN. PIPING DROP. PROVIDE CLEAN-OUT AT BASE.
4. H.W., C.W., & H.W.R. UP THRU FL.
5. V. UP THRU FL.
6. G. PIPING UP THRU FL.
7. H.&C.W. UP THRU FL.
8. C.W. UP THRU FL.
9. PIPING LOCATED IN CRAWL SPACE.
10. NEW GAS METER BY UTILITY COMPANY. GAS PRESSURE SHALL BE SET TO 7" W.C.
11. AIR ADMITTANCE VALVE.
12. CONNECT TO EXISTING. CONTRACTOR TO VERIFY EXISTING IN FIELD.
13. 2" DOMESTIC WATER MAIN. INSTALL IN ACCORDANCE WITH UTILITY COMPANY AND ADOPTED CODE.

KEY NOTES

14. GREASE INTERCEPTOR INSTALLED ON RAISED PLATFORM. CONTRACTOR TO PROVIDE CONCRETE PAD OR STRUCTURAL SUPPORT.
15. H.W. UP THRU FL.



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Professional Engineer
 State of New Jersey
 1-877-PROGRESS-3877
 08/08/2022
 DATE
 ESI PROJECT # 2022M_07
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: 4511640

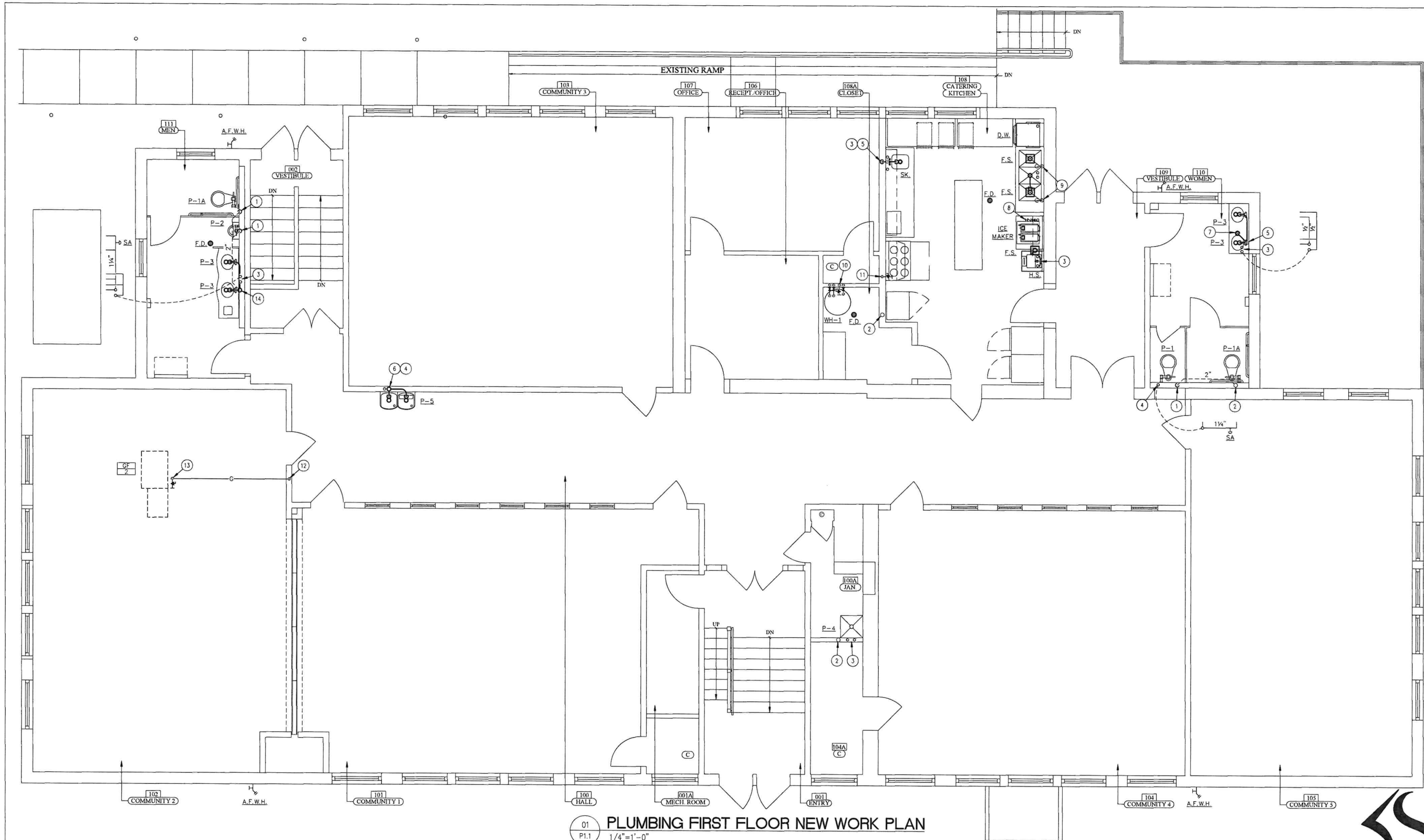
CONNOLLY & HICKEY
 HISTORICAL ARCHITECTS, LLC
 P.O. Box 1726
 Crauford, N.J. 07016
 973.746.4911

THOMAS B. CONNOLLY, AIA
 NJ 21A101699200
 P.A. R-403376
 MARGARET M. HICKEY, AIA
 NJ 21A101824500
 PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MJA, CB, PK

RESTORATION AND REHABILITATION
 WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

P1.0



01 PLUMBING FIRST FLOOR NEW WORK PLAN
 P1.1 1/4"=1'-0"

KEY NOTES

1. 2" V. RISE.
2. V.T.R.
3. H.&C.W. UP THRU FL.
4. C.W. UP THRU FL.
5. 2" W. DN. & AIR ADMITTANCE VALVE.
6. 2" W. DN. & 2" V.T.R.
7. 2" W. DN.
8. CONNECT TO ICE AND COFFEE MAKER. PROVIDE SHUT-OFF VALVE AND BFP.
9. AIR ADMITTANCE VALVE.
10. H.W., C.W., H.W.R. & G. UP THRU FL. AND CONNECT TO WATER HEATER.

KEY NOTES

11. G. UP THRU FL. AND CONNECT TO KITCHEN EQUIPMENT.
12. G. UP TO ATTIC SPACE.
13. GAS PIPING DROP AND CONNECT TO MECHANICAL UNIT.
14. 3" W. DN. & 3" V.T.R.

GENERAL NOTES

1. PROVIDE TRAP SEALS FOR ALL FLOOR DRAINS.
2. PROVIDE SHOCK ARRESTERS ON WATER SUPPLY TO WATER CLOSET.
3. PROVIDE THERMOSTATIC MIXING VALVE AT LAVATORIES & HAND SINKS. TEMPERATURE AT LAVATORY SHALL NOT EXCEED 105° F.



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Paul Regala, P.E.
 Professional Engineer
 State of New Jersey
 1-STEP PROCESS SRT
 08/18/2022
 DATE: 8/18/2022
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NO. 94868

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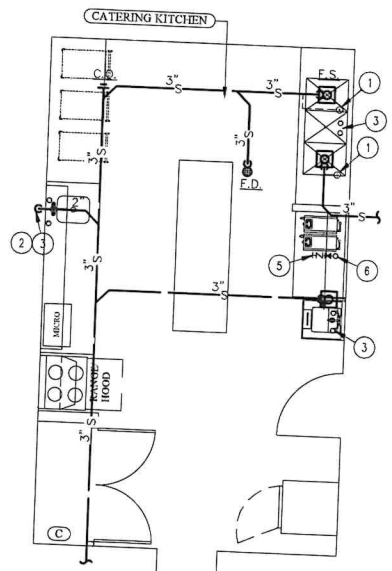
THOMAS B. CONNOLLY, AIA
 NJ 21A0169230
 PA RA403776
 MARGARET M. HICKEY, AIA
 NJ 21A01824500

PROJECT No.: 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MAJ, CP, PK

RESTORATION AND REHABILITATION
 WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

P1.1



01
P1.1A PLUMBING KITCHEN PLAN - ALTERNATE
1/4"=1'-0"

KEY NOTES

1. AIR ADMITTANCE VALVE.
2. 2" V. RISE & AIR ADMITTANCE VALVE.
3. H.&C.W. UP THRU FL.
4. CONNECT TO COFFEE MAKER.
5. CONNECT TO ICE AND COFFEE MAKER. PROVIDE SHUT-OFF VALVE AND BFP.
6. C.W. UP THRU FL.

GENERAL NOTES

1. PROVIDE TRAP SEALS FOR ALL FLOOR DRAINS.
2. PROVIDE SHOCK ARRESTERS ON WATER SUPPLY TO WATER CLOSET.
3. PROVIDE THERMOSTATIC MIXING VALVE AT LAVATORIES. TEMPERATURE AT LAVATORY SHALL NOT EXCEED 105° F.

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THOMAS B. CONNOLLY, AIA
NJ 21A01609200
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MARGARET M. HICKEY, AIA
NJ 21A016244500

PROJECT No.: 2016C

DATE: 08 AUGUST 2022

REVISIONS:

DRAWN BY: MAH, CB, FK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

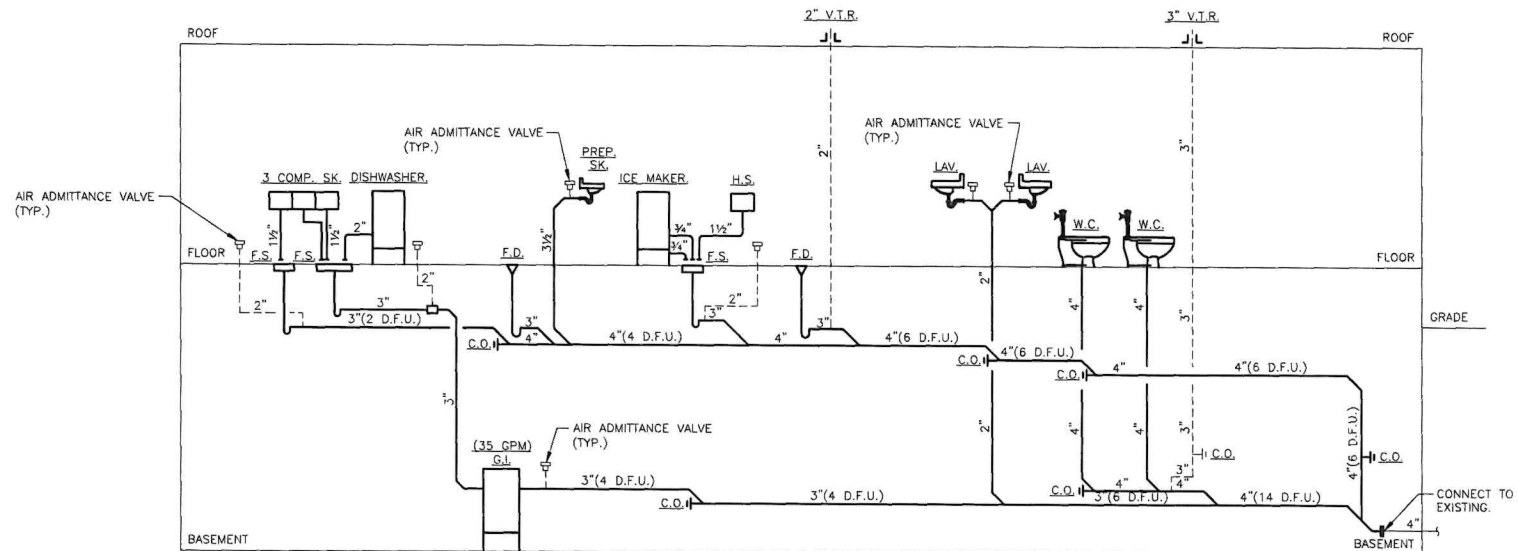


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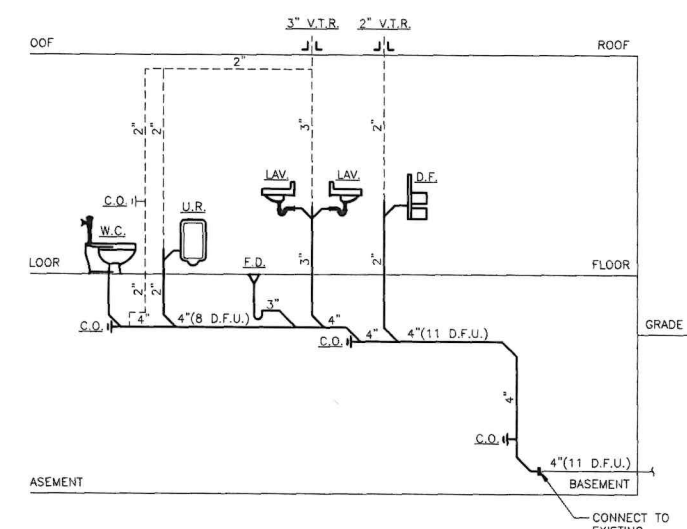
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Paul Ranaiv, P.E.
Professional Engineer
State of New Jersey
MEP PROCESS SET
08/08/2022
DATE
KSI PROJECT # 2016C_01
NEW JERSEY PROFESSIONAL ENGINEER

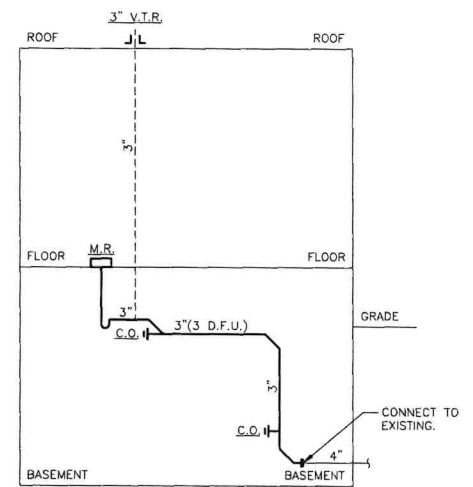
P1.1A



01 SANITARY RISER DIAGRAM
P2.1 N.T.S.



02 SANITARY RISER DIAGRAM
P2.1 N.T.S.



03 SANITARY RISER DIAGRAM
P2.1 N.T.S.

02 GAS RISER DIAGRAM
P2.1 N.T.S.

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THOMAS B. CONNOLLY, AIA
NJ 21A0169200
PA RA403776
MARGARET M. HICKEY, AIA
NJ 21A018244500

PROJECT No. 2016C
DATE: 08 AUGUST 2022

REVISIONS:

DRAWN BY: MAJIE, CB, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
BURLINGTON, BURLINGTON COUNTY, NEW JERSEY



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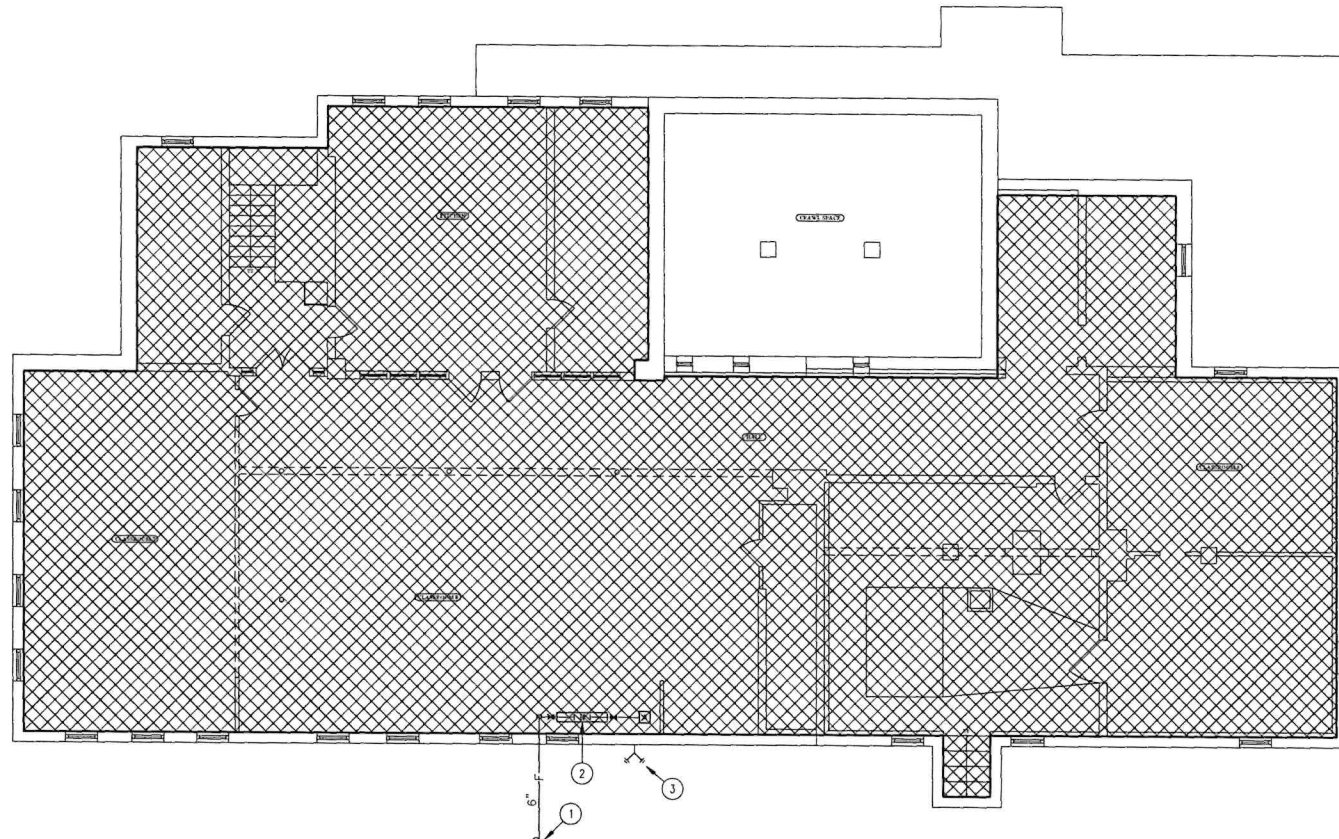
Fred Reynolds, P.E.
Professional Engineer
State of New Jersey

MFP PROJECT SET
08/08/2022

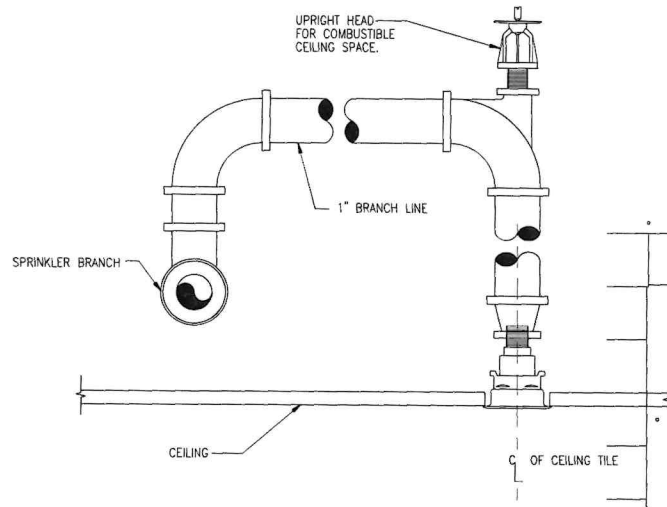
DATE:
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: 412860

GENERAL NOTES

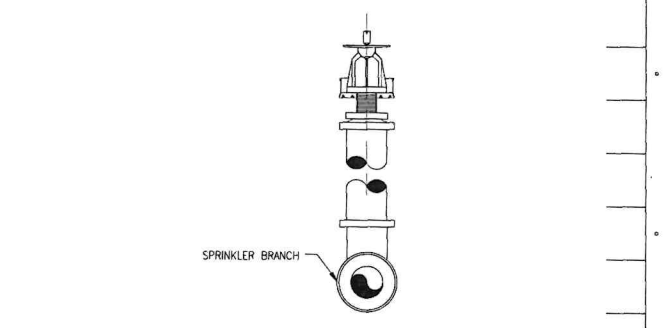
- SHOP DRAWINGS BEARING THE APPROVAL OF THE INSURANCE UNDERWRITER SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE BEFORE ANY WORK IS STARTED.
- PROVIDE SPRINKLERS IN ALL COMBUSTIBLE CONCEALED SPACES IN ACCORDANCE WITH N.F.P.A. 13.
- SPRINKLER HEADS SHALL NOT INTERFERE WITH LIGHTING FIXTURES, SPEAKERS, AIR CONDITIONING DIFFUSERS AND GRILLES, ETC. COORDINATE WITH ELECTRICAL, MECHANICAL AND ARCHITECT'S DRAWINGS PRIOR TO SUBMITTING SHOP DRAWING.
- GUARANTEE ALL WORK MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE(1) YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY.
- ALL SPRINKLER PIPING TO RUN AS HIGH AS POSSIBLE COORDINATE LOCATIONS WITH GENERAL CONTRACTOR'S FIELD REPRESENTATIVE. PIPING SHALL ONLY BE INSTALLED IN HEATED AREAS. DO NOT INSTALL PIPING IN UNHEATED ATTIC SPACES.
- THE CONTRACTOR SHALL RUN A CERTIFIED FLOW TEST AS REQUIRED BY N.F.P.A. 13, APPENDIX B.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING COMPLETE HYDRAULIC CALCULATIONS FOR APPROVAL BY THE INSURANCE UNDERWRITER AND THE AUTHORITIES HAVING JURISDICTION.
- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE FIRE SUPPRESSION SYSTEM WHERE SHOWN ON DRAWINGS AND REQUIRED BY 'NJ INTERNATIONAL BUILDING CODE' & N.F.P.A. NO. 13.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL, DETAILED CONSTRUCTION DRAWINGS AND HYDRAULIC CALCULATIONS TO THE ENGINEER AND FIRE SUB-CODE OFFICIAL, PRIOR TO THE INSTALLATION OF ANY EQUIPMENT. OBTAIN CERTIFICATE OF INSPECTION AND APPROVAL FROM THE SAME AGENCY HAVING JURISDICTION AFTER INSTALLATION. FIRE SUPPRESSION CONSTRUCTION DRAWINGS SHALL BE SIGNED AND SEALED BY AN ENGINEER LICENSED IN NJ WHERE THE PROJECT IS LOCATED.
- EXACT LOCATION OF SPRINKLER HEADS AND PIPING SHALL BE COORDINATED WITH OTHER TRADES AND THE ELECTRICAL DRAWINGS PLAN BEFORE INSTALLATION.
- PROVIDE SPRINKLERS IN COMBUSTIBLE CONCEALED SPACES IN ACCORDANCE WITH N.F.P.A. 13.



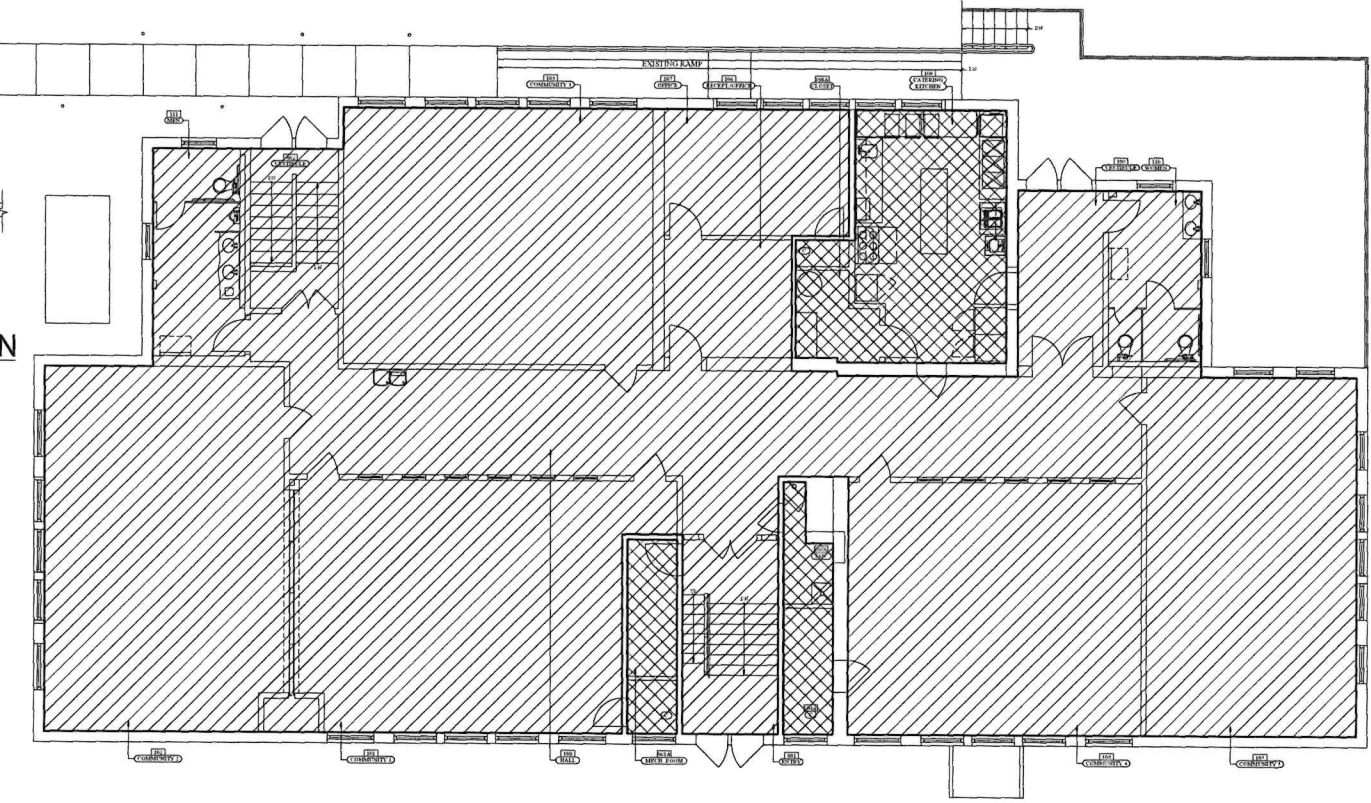
01 FIRE PROTECTION BASEMENT FLOOR PLAN
 FP1.1 1/8"=1'-0"



03 CONCEALED SPRINKLER INSTALLATION
 FP1.1 N.T.S.



04 UPRIGHT SPRINKLER INSTALLATION
 FP1.1 N.T.S.



02 FIRE PROTECTION FIRST FLOOR PLAN
 FP1.1 1/8"=1'-0"

KEY NOTES (1, 2, ETC)

- 6" FIRE PROTECTION WATER SERVICE. INSTALL WATER MAIN ACCORDANCE TO N.F.P.A. 24 AND UTILITY COMPANY REQUIREMENTS.
- BACK FLOW PREVENTION DEVICE AND WET TYPE VALVE. PIPE TEST DRAIN LINES TO OUTSIDE OF BUILDING.
- FIRE DEPARTMENT LOCATION. OBTAIN APPROVAL FOR LOCATION AND CONNECTION TYPE FROM LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION.

GENERAL NOTES

- INSTALL SPRINKLERS IN COMBUSTIBLE CONCEALED SPACES IN ACCORDANCE WITH N.F.P.A. 13.
- ALL NEW PIPING SHALL BE INSTALLED IN CONCEALED SPACES. COORDINATION OF ALL NEW PIPE ROUTING SHALL BE COORDINATED PRIOR TO INSTALLATION OF PIPING.
- ALL ATTIC SPACES SHALL BE PROTECTED IN ACCORDANCE WITH NFPA 13. REFER TO ARCHITECTURE DRAWINGS FOR ROOF PLANS AND BUILDING SECTIONS.

FIRE PROTECTION DESIGN CRITERIA

	WET TYPE SPRINKLER SYSTEM SYSTEM TYPE: OCCUPANCY CLASS: DENSITY: AREA OF APPLICATION: MAX. SPRINKLER HEAD COVERAGE	WET PIPE SYSTEM LIGHT HAZARD 0.10 GPM/SQ FT 1,500 SQ FT 225 SQ FT
	WET TYPE SPRINKLER SYSTEM SYSTEM TYPE: OCCUPANCY CLASS: DENSITY: AREA OF APPLICATION: MAX. SPRINKLER HEAD COVERAGE	WET PIPE SYSTEM ORDINARY HAZARD 0.15 GPM/SQ FT 1,500 SQ FT 130 SQ FT

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PROJECT No.: 2016C
 DATE: 08 AUGUST 2022

REVISIONS:

DRAWN BY: MSB, CR, PK

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
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ALL DRAWINGS AND SPECIFICATIONS APPROVED FOR SUBMITTAL TO ORIGINAL AND APPROVED WORK OF THE PROJECT. THE SUPERVISOR'S SIGNATURE AND SEAL SHALL BE COORDINATED WITH THE ARCHITECT AND THE PROJECT MANAGER. THE PROJECT MANAGER SHALL BE COORDINATED WITH THE ARCHITECT AND THE PROJECT MANAGER. THE PROJECT MANAGER SHALL BE COORDINATED WITH THE ARCHITECT AND THE PROJECT MANAGER.

Paul Ryan, P.E.
 Professional Engineer
 State of New Jersey

AMP PROCESS SET
 08/08/2022

DATE:
 08/08/2022

NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: 451866

FP1.1

ELECTRICAL GENERAL NOTES

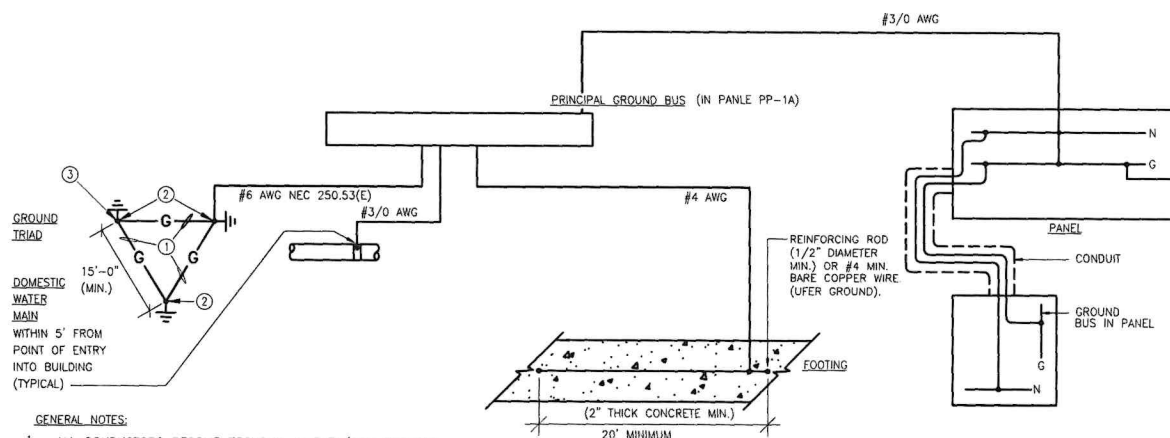
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2017, NFPA 70 2017, ASHRAE 90.1 2016, N.J.A.C. (LATEST ADOPTED VERSION) AND THE INTERNATIONAL BUILDING CODE NEW JERSEY EDITION 2018.
- THE CONTRACTOR MUST HAVE THE H.V.A.C., FIRE PROTECTION AND PLUMBING DRAWINGS FOR LOCATIONS OF EQUIPMENT AND CONTROL WIRING REQUIREMENTS. ONLY POWER FEEDER TO MECHANICAL EQUIPMENT ARE SCHEDULED ON THE ELECTRICAL DRAWINGS. FURNISH AND INSTALL ALL CODE REQUIRED DISCONNECT SWITCHES FOR MECHANICAL EQUIPMENT UNLESS SPECIFIED ON MECHANICAL DRAWINGS TO BE SUPPLIED BY MANUFACTURER. PROVIDE FUSED SWITCHES WHEREVER MANUFACTURER REQUIRES THEM.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO SUBMIT MEP COORDINATION DRAWINGS AS EARLY AS POSSIBLE IN THE CONSTRUCTION PERIOD.
- CONDUCTOR SIZES(PHASE AND BOND) SHALL BE INCREASED DUE TO DERATING AND VOLTAGE DROP REQUIREMENTS AS NECESSARY. USE A MINIMUM #10 AWG FOR 20 AMPERE CIRCUITS AS FOLLOWS: 120V. - OVER 120', 200V. - OVER 210'. USE #8 FOR 20A, 20A CKTS @ 120V. FROM 191' TO 301'.(FOR #8 PROVIDE AND INSTALL SPLICE/TAP J-BOX BEFORE CONNECTION TO LOAD AND TRANSFER TO #12AWG FOR CONNECTION TO DEVICE TERMINALS).
- PANELBOARD LOCKS SHALL BE KEYPED IN ACCORDANCE TO OWNER REQUIREMENTS.
- SEPARATE NEUTRALS SHALL BE RUN FOR ALL CIRCUITS UTILIZING SWITCH MODE POWER SUPPLIES(EG. COMPUTERS, FLUORESCENT LIGHTING, ETC.).
- ALL RACEWAYS FEEDING ISOLATED GROUND DEVICES SHALL INCLUDE AN ISOLATED GROUND WIRE SIZED IN ACCORDANCE TO THE NEC.
- AS-BUILTS SHALL BE PROVIDED WITHIN 30 DAYS OF SYSTEM ACCEPTANCE, INCLUDING BUT NOT LIMITED TO SINGLE-LINE OF ELECTRICAL DISTRIBUTION SYSTEM AND FLOOR PLAN WITH LOCATIONS OF DISTRIBUTION EQUIPMENT AND AREAS SERVED BY THAT EQUIPMENT.(ASHRAE/IESNA STANDARD 90.1-1999.)
- O & M MANUALS MUST BE PROVIDED FOR THE ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING BUT NOT LIMITED TO NAMEPLATE RATINGS, SCHEDULED MAINTENANCE, SPECIFIC EQUIPMENT SUPPLIED, NAMES AND ADDRESSES OF QUALIFIED SERVICE AGENCIES, COMPLETE NARRATIVE AND SCHEMATIC OF SYSTEM IN NORMAL OPERATION.(ASHRAE/IESNA STANDARD 90.1-1999.)
- ALL DEVICES SHALL BE MOUNTED AS PER ADA GUIDELINES.
- PROVIDE TEMPORARY POWER AS REQUIRED FOR THE PROJECT.
- PROVIDE IDENTIFICATION OF ALL BRANCH CIRCUIT WIRES IN PULL BOXES AND AT TERMINATIONS WITH PANEL AND CIRCUIT NUMBER.
- PROVIDE PLASTIC ENGRAVED LABELS ON PANELS, DISCONNECT SWITCHES AND TRANSFORMERS TO INDICATE POWER SOURCE AND VOLTAGE.
- WIRING FOR CONTROLS, COMMUNICATIONS AND OTHER SYSTEMS SHALL BE IN RACEWAY SPECIFIED FOR BRANCH CIRCUITS UNLESS SPECIFICALLY NOTED OTHERWISE.
- FURNISH AND INSTALL ALL POWER WIRING AS REQUIRED FOR EQUIPMENT FURNISHED UNDER H.V.A.C., PLUMBING AND GENERAL TRADE SECTIONS. UNLESS OTHERWISE NOTED.
- ALL WIRE AND CABLE AMPACITIES INDICATED ON DRAWINGS ARE BASED ON 75°C. TEMPERATURE RATING. ALL LUGS, BREAKERS, SWITCHES AND OTHER TERMINATIONS SHALL HAVE 75°C. RATINGS AS A MINIMUM.
- BALANCE ALL LOADS BETWEEN PHASES.
- SEPARATE NEUTRALS SHALL BE RUN FOR ALL CIRCUITS.
- ALL PANELS SHALL HAVE TYPEWRITTEN DIRECTORIES.
- CONTRACTOR SHALL VERIFY AVAILABLE SHORT CIRCUIT FROM THE UTILITY AND HAVE SHORT CIRCUIT CALCULATIONS PERFORMED BY THE MANUFACTURER FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE CIRCUIT BREAKER LOCKS ON THE CIRCUIT BREAKER CONNECTED TO THE FIRE ALARM CONTROL PANEL. PROVIDE (6) ADDITIONAL LOCKS AND INSTALL AT LOCATIONS AS DEFINED BY AHJ.
- ELECTRICAL DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONAL REQUIREMENTS, COORDINATE WITH ARCHITECTURAL DRAWINGS.

ELECTRICAL ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
A	AMPERE
AC	ALTERNATING CURRENT
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITY HOUSING JURISDICTION
AHU	AIR HANDLING UNIT
AWG	AMERICAN WIRE GAGE
C	CONDUIT
CB	CIRCUIT BREAKER
CH	ABOVE COUNTER HEIGHT
CKT	CIRCUIT
E	EXISTING
EC	ELECTRICAL CONTRACTOR
EMT	ELECTRICAL METALLIC TUBING
ER	EXISTING TO BE RELOCATED
FACP	FIRE ALARM CONTROL PANEL
G	GROUND
GFI	GROUND FAULT CIRCUIT INTERRUPTER
HP	HORSE POWER
JB	JUNCTION BOX
KCMIL	THOUSAND CIRCULAR MILS
KVA	KILOVOLT - AMPERE
KW	KILOWATT
LP	LIGHTING PANEL
MCB	MAIN CIRCUIT BREAKER
MDF	MAIN DISTRIBUTION FRAME
MDP	MAIN DISTRIBUTION PANEL
MDS	MAIN DISTRIBUTION SWITCHGEAR
MGB	MAIN GROUND BUS
MLO	MAIN LUGS ONLY
NIC	NOT IN CONTRACT
N/L	NIGHT LIGHT
Ø	PHASE
PNL	PANEL
PGB	PRINCIPAL GROUND BUS
PGP	PRINCIPAL GROUND POINT
PP	POWER PANEL
R	RELOCATED IN NEW POSITION
RP	RECEPTACLE PANEL
SW	SWITCH
TBB	TELEPHONE BACKBOARD
V	VOLT
WP	WEATHER PROOF (NEMA RATED)(WHILE IN USE)
XFMR	TRANSFORMER
NTS	NOT TO SCALE

ELECTRICAL SYMBOL LEGEND (DEVICE AND EQUIPMENT MOUNTING HEIGHTS ARE AS LISTED ON DRAWING AND/OR DESCRIBED IN SPECIFICATIONS UNLESS ITEMIZED BY ARCHITECTURAL DOCUMENTS.)

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
□	CEILING OR PENDANT MOUNTED FLUORESCENT FIXTURE AND OUTLET. α = SWITCH CONTROL. 3 = CIRCUIT NUMBER - TYPICAL FOR ALL FIXTURES.	□	PUSH-BUTTON, UP/DN/STOP
□	FIXTURE WIRED TO EMERGENCY CIRCUIT.	□	PANEL BOARD (LIGHTING OR RECEPTACLE) SURFACE MOUNTED
□	INDUSTRIAL OR STRIP FLUORESCENT FIXTURE.	□	PANEL BOARD (LIGHTING OR RECEPTACLE) RECESSED
□	LIGHTING FIXTURE WIRED TO EMERGENCY CIRCUIT OR WITH BUILT IN BATTERY.	□	GROUND ROD
○	RECESSED LIGHT FIXTURE, EMERG. CIRCUIT.	□	TRANSFORMER
○	PENDANT OR CEILING MOUNTED LIGHT FIXTURE	⊙	ELECTRIC METER
○	WALL MOUNTED LIGHT FIXTURE, EMERGENCY CIRCUIT.	⊙	FIRE ALARM SMOKE DETECTOR (PHOTOELECTRIC UNLESS OTHERWISE NOTED), (I= IONIZATION) (ADDRESSABLE) CEILING MOUNTED. 120V HARDWIRED AND INTERCONNECTED.
○	WALL WASH, EMERGENCY CIRCUIT.(UNSHADED SIDE DESIGNATES DIRECTION OF WASH)	⊙	CARBON MONOXIDE DETECTOR. 120V HARDWIRED AND INTERCONNECTED.
○	POLE MOUNTED LIGHT FIXTURE	■	ITEMS TO BE DEMOLISHED AND REMOVED
○	CEILING MOUNTED EXIT SIGN, WALL MOUNTED EXIT SIGN. 90° TO BOTTOM OF SIGN OR CENTERED ON WALL AREA BETWEEN TOP OF DOOR AND CEILING. ARROWS AS INDICATED, SHADED AREA INDICATES FACE(S).	□	TIME CLOCK LIGHTING CONTROLS
○	LED EXIT SIGN WITH BATTERY PAK AND LOCAL EMERGENCY HEADS - TYPE "E-1" TYPICAL. MANUFACTURER IS MCPHILBEN #CCHX203RW (DR-IN POOL AREA).	□	MOTION SENSOR
○	EMERGENCY BATTERY PACK ABOVE CEILING (WHERE APPLICABLE)	□	MOTOR
○	BATTERY OPERATED EMERGENCY LIGHTING. 90° TO BOTTOM OF FIXTURE OR CENTERED ON WALL AREA BETWEEN TOP OF DOOR AND CEILING (90 MINUTE MINIMUM CAPACITY)	□	EXPOSED CONDUIT OR CABLE
○	(2) WEATHERPROOF EMERGENCY FLOOD LIGHTS.	□	CONCEALED CONDUIT OR CABLE
○	FLOOD LIGHT	□	NON-FUSIBLE DISCONNECT SWITCH
○	REMOTE TEST SWITCH WITH LED MOUNTED IN SINGLE GANG STAINLESS STEEL FACE PLATE ON CEILING	□	FUSIBLE DISCONNECT SWITCH W/ FUSE RATING.
○	LIGHT FIXTURE, A=LIGHTING FIXTURE TYPE, X=CIRCUIT NUMBER	□	PHOTOCELL
○	SINGLE POLE 20A, TOGGLE TYPE SWITCH MOUNTED 4'-0" AFF TO TOP. SUBLETTER "α" DENOTES FIXTURE CONTROLLED. U.O.N.	□	EMERGENCY PULL CORD
○	THREE WAY SWITCH	□	2-WAY PUSHBUTTON INTERCOM DEVICE WITH SPEAKER/MICROPHONE. - 4"x4" J-BOX AND 3/4" CONDUIT TO ACCESSIBLE CEILING SPACE WITH PULL-WIRE.
○	FOUR WAY SWITCH	□	SECURITY SYSTEM KEY PAD
○	DIMMER SWITCH-LUTRON MAESTRO SMART DIMMER, TYPE TO MATCH LAMP AND SINGLE OR MULTIPLE LOCATIONS. U.O.N.	□	WALL MOUNTED TELEPHONE OUTLET 1'-4", 48" AFF TO TOP OF DEVICE. WIRE ALL DEVICES BACK TO DMARC.
○	SINGLE RECEPTACLE 125V., 20A., 2P., 3W., 5-20R U.O.N.(SPECIALTY TYPE AS NOTED-A,B,C)(MOUNTED AT SAME HEIGHT AS DUPLEX, U.O.N.)	□	JUNCTION BOX, CEILING OR WALL MOUNTED AS NOTED, ELECTRICAL CONTRACTOR TO MAKE ALL REQUIRED CONNECTIONS TO DESIGNATED EQUIPMENT.
○	DUPLEX CONVENIENCE RECEPTACLE 20A, 125V. MOUNTED 1'-4" A.F.F. TO CENTER. U.O.N. 3-CIRCUIT NUMBER. CH=ABOVE COUNTER HEIGHT AT 44" MAX TO ABOVE COUNTERS WHICH ARE 20"-25" DEEP. U.O.N. CP=CHILD PROOF.		
○	DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER HEIGHT.		
○	GROUND FAULT RECEPTACLE		
○	DOUBLE DUPLEX RECEPTACLE (QUAD)		
○	DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER HEIGHT WITH GROUND. (GFI)		
○	QUAD RECEPTACLE MOUNTED ABOVE COUNTER HEIGHT WITH GROUND. (GFI)		
○	COMBINATION TELE/COMM OUTLET WITH HIGH SPEED INTERNET ACCESS. MOUNT 1'-4" AFF TO C OF DEVICE. WIRE ALL DEVICES BACK TO DMARC.		

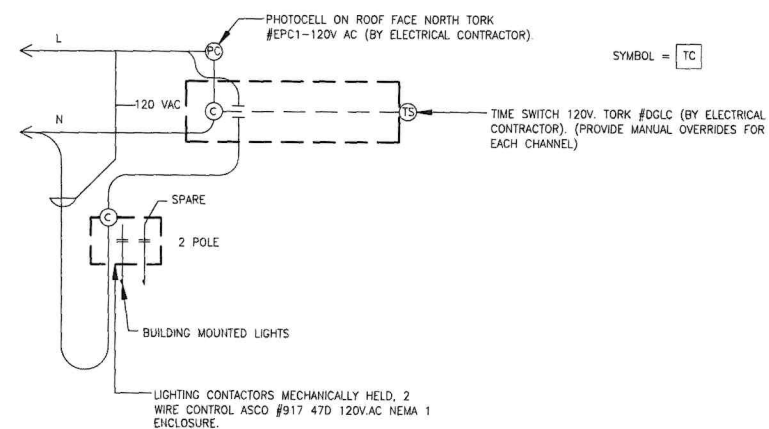


GENERAL NOTES:

- ALL CONDUCTORS BECOME 750KCMIL IN DATA/COM PROJECT.
- THE GROUNDING SYSTEM IS DESIGNED FOR A MAXIMUM OF 25 OHMS(3 OHMS FOR DATA/COM PROJECTS) WHEN MEASURED FROM THE GROUND BUS TO THE SINGLE POINT GROUND LOCATED OUTSIDE OF THE BUILDING ENVELOPE.
- GROUNDING SHOWN SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE N.E.C. ARTICLE 250.
- BOND ACROSS WATER METERS, ETC.

KEY NOTES:

- 3/0 COPPER WIRE.
- COLDWELD CONNECTION.
- COPPERCLAD GROUND ROD, 3/4"x10' LOCATED 18' MINIMUM BELOW FINISHED GRADE.(TYPICAL) U.O.N.



NOTES:

- COORDINATE FINAL PROGRAMMING WITH OWNER PRIOR TO CLOSE-OUT.

01 E0.1 TYPICAL GROUNDING SYSTEM FROM SERVICE ENTRANCE NTS

02 E0.1 EXTERIOR LIGHTING CONTROL DIAGRAM NTS

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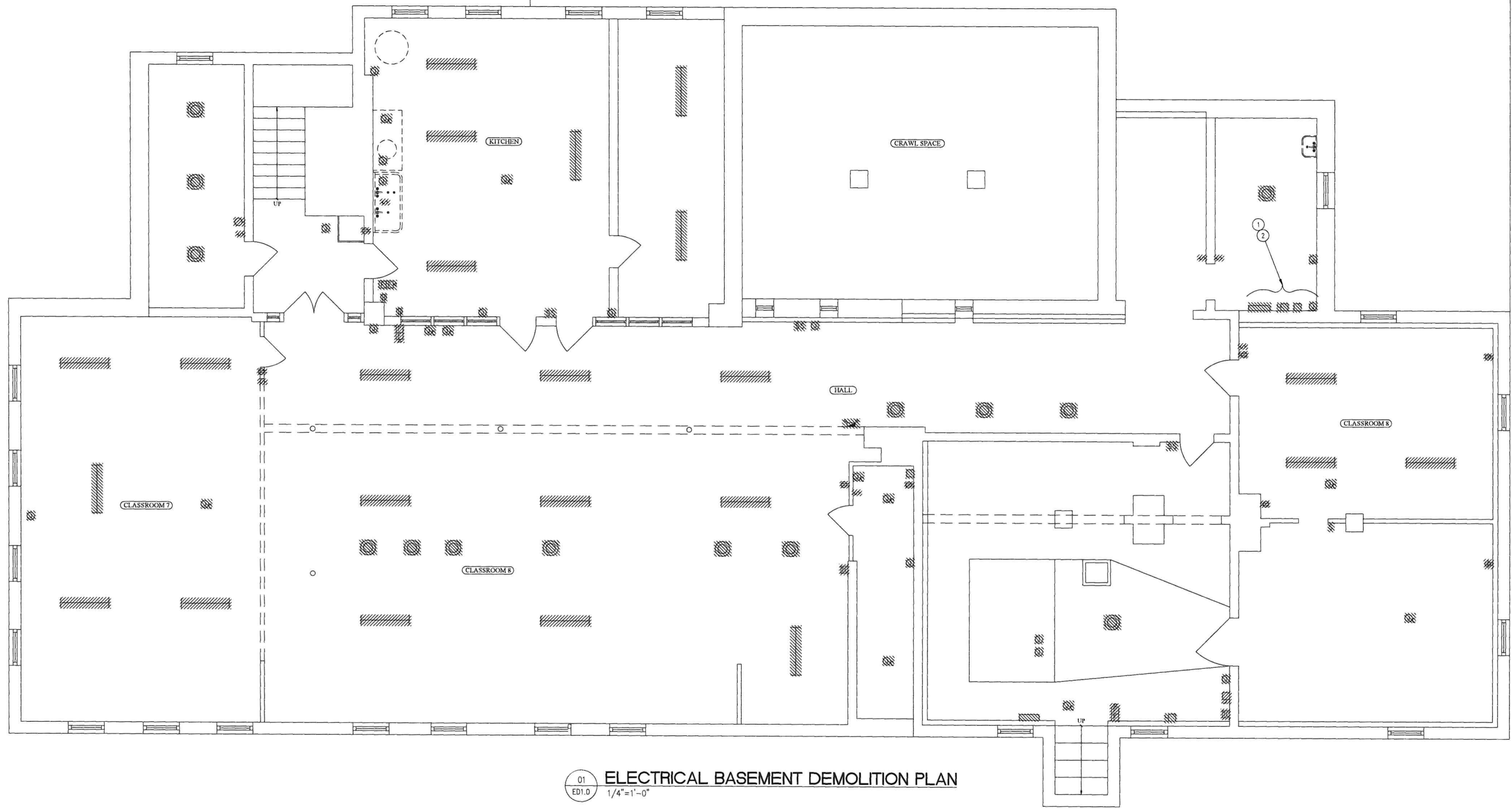


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08/08/2022
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KSI PROJECT # 20C04_07
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NO. 43280

E0.1



01
ED1.0
ELECTRICAL BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

KEY NOTES

1. ALL EXISTING ELECTRICAL DEVICES ON THE WALL SHALL BE DEMOLISHED.
2. EXISTING ELECTRICAL SERVICE SHALL BE DEMOLISHED.

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR FAILURE TO OBSERVE THIS REQUIREMENT.
2. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL ELECTRICAL WIRING AND EQUIPMENT AS REQUIRED WITHIN ALL AREAS TO BE RENOVATED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO FIXTURES, DEVICES, OUTLETS, SWITCHES, RECEPTACLES, STARTERS, DISCONNECTS, PANELS, FEEDERS, ETC.
3. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING CIRCUITS TO MECHANICAL EQUIPMENT BEING REMOVED. REFER TO ALL MECHANICAL DEMOLITION DRAWINGS OR NOTES FOR LOCATIONS.
4. WHERE ELECTRICAL ITEMS ARE REMOVED, ALL BRANCH DEVICE'S WIRING SHALL BE REMOVED BACK TO PANEL SERVICING THE EQUIPMENT. WHERE CIRCUITS SERVE ADDITIONAL DEVICES OR EQUIPMENT REMAINING, WIRING SHALL BE REMOVED BACK TO THE NEAREST ACTIVE JUNCTION BOX.
5. THE CONTRACTOR SHALL MAINTAIN CONTINUITY OF EXISTING CIRCUITS THAT ARE TO REMAIN IN OPERATION AND SCHEDULE FOR RE-FEEDING FROM NEW PANELS. FORWARD FINDINGS TO ENGINEER FOR REVIEW AND COORDINATION.
6. ALL UNUSED CIRCUITS REMAINING AFTER REMOVALS SHALL BECOME SPARE IN PANELS AND LABELED AS SPARE.
7. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION AND SCOPE OF DEMOLITION.
8. ALL MATERIALS AND EQUIPMENT REMOVALS SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER OR THE ARCHITECT. OWNER HAS RIGHT OF FIRST REFUSAL FOR ALL DEMOLISHED DEVICES.

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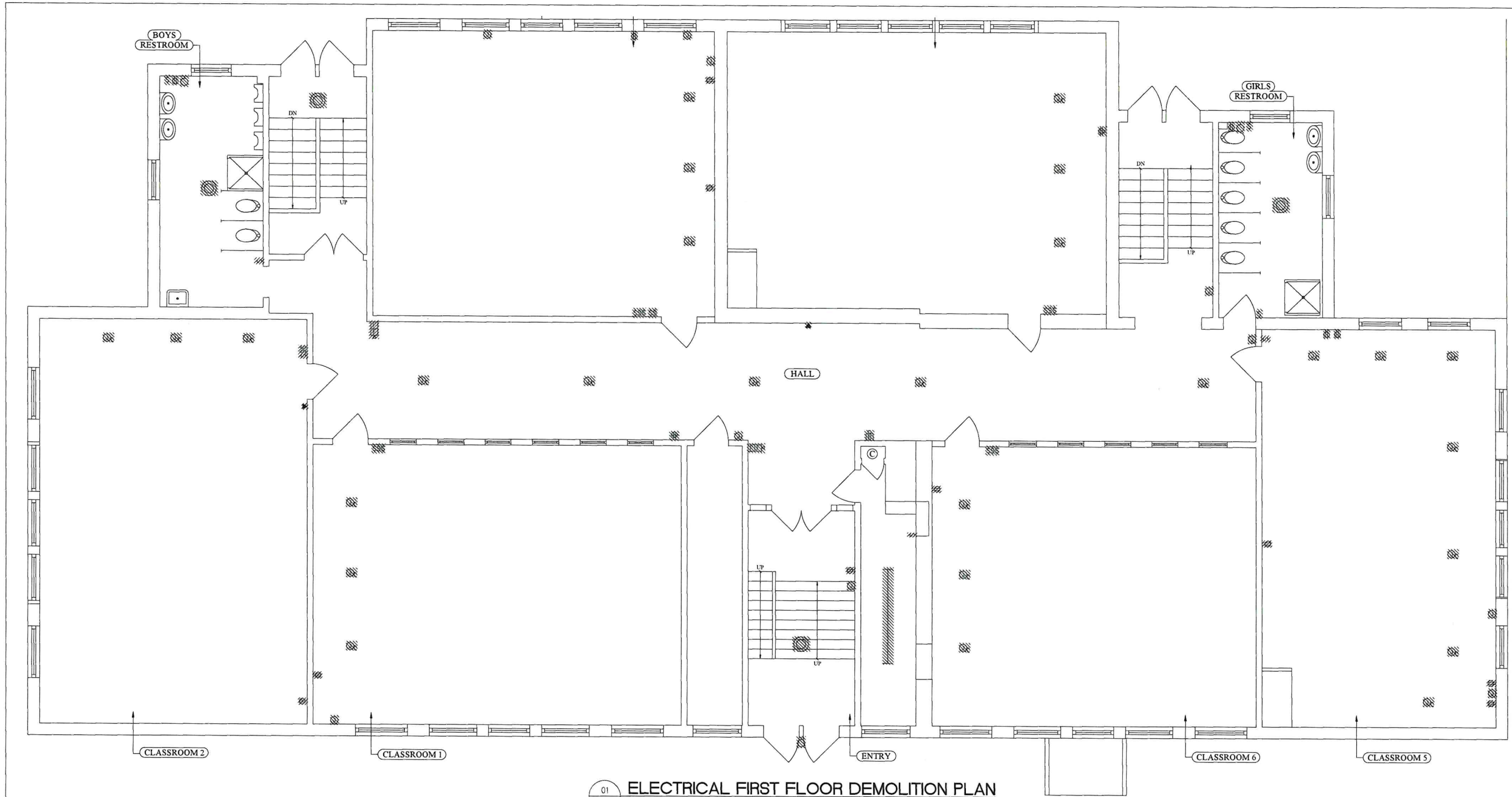
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RESTORATION AND REHABILITATION
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BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

ED1.0



01 ELECTRICAL FIRST FLOOR DEMOLITION PLAN
 ED1.1 1/4"=1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR FAILURE TO OBSERVE THIS REQUIREMENT.
2. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL ELECTRICAL WIRING AND EQUIPMENT AS REQUIRED WITHIN ALL AREAS TO BE RENOVATED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO FIXTURES, DEVICES, OUTLETS, SWITCHES, RECEPTACLES, STARTERS, DISCONNECTS, PANELS, FEEDERS, ETC.
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Paul Ryan, P.E.
 Professional Engineer
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DATE: 08/08/2022
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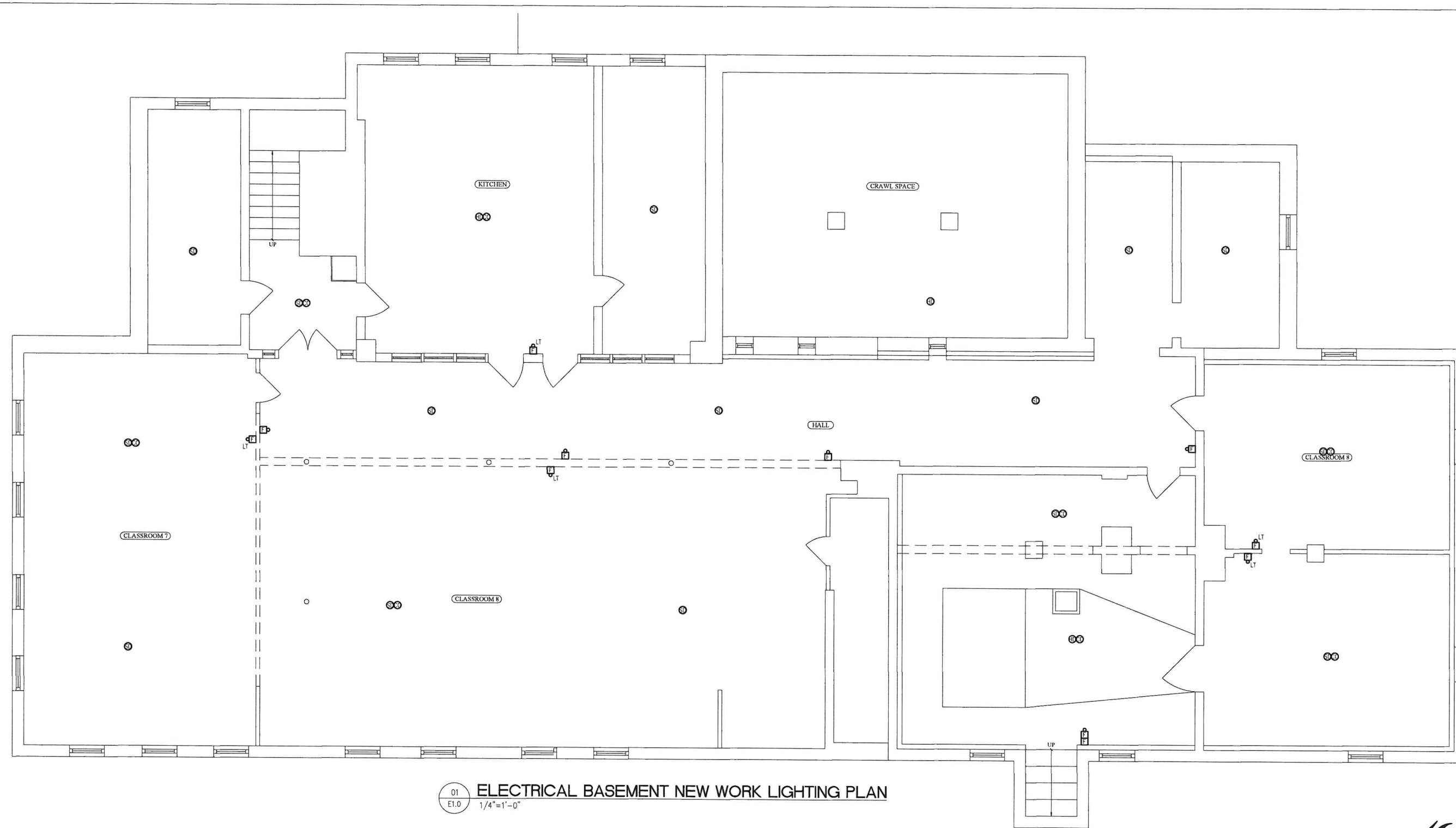
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ED1.1



01 ELECTRICAL BASEMENT NEW WORK LIGHTING PLAN
 E1.0 1/4" = 1'-0"

KEY NOTES

- 1. -

GENERAL NOTES

1. ALL NEW ELECTRICAL DEVICES AND LIGHTING SHALL BE CIRCUITED TO PANEL PP-A UNLESS OTHERWISE NOTED.
2. ALL EXIT AND EMERGENCY FIXTURES SHALL BE CIRCUITED TO THE LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING WITH (2)#12+(1)#12G IN 3/4" CONDUIT.
3. ALL FIXTURES SHALL BE TYPE A UNLESS OTHERWISE NOTED.



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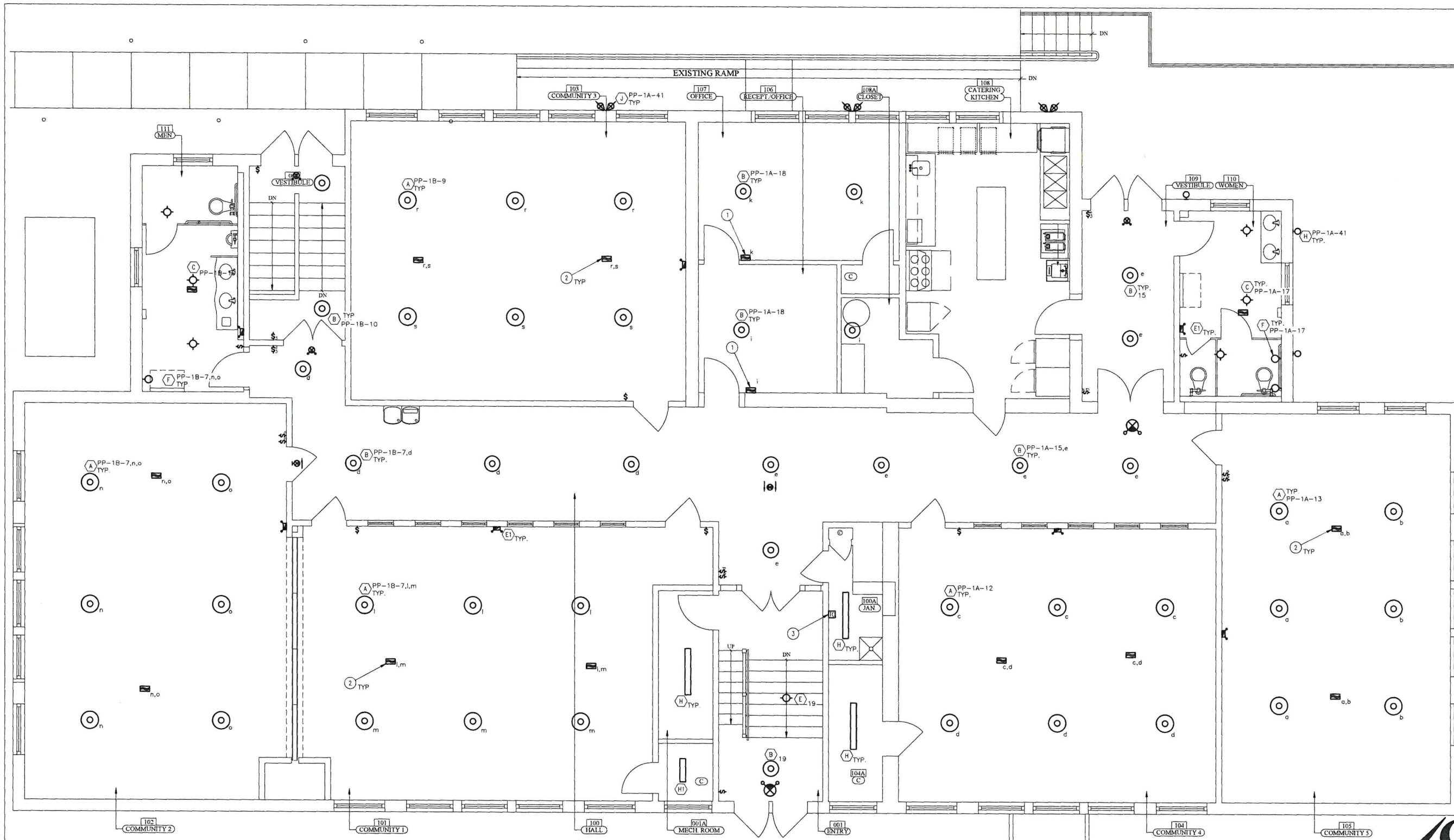
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E1.0



01 ELECTRICAL FIRST FLOOR NEW WORK LIGHTING PLAN
 E1.1 1/4"=1'-0"

KEY NOTES

1. COMBINATION WALLSWITCH/OCCUPANCY SENSOR SHALL BE MODEL LHDMTS-2-WH AS MANUFACTURED BY HUBBELL LIGHTING OR EQUAL. SWITCH SHALL CONTROL LOCAL LIGHTING AS WELL AS EXHAUST FAN. COORDINATE CONNECTION TO EXHAUST FAN WITH MECHANICAL CONTRACTOR.
2. OCCUPANCY SENSOR SHALL BE MODEL OMHDPT500BP1277 AS MANUFACTURED BY HUBBELL LIGHTING OR EQUAL. PROVIDE WITH (1) POWER PACK PER ZONE CONTROLLED AND WIRE COMPLETE PER MANUFACTURER'S RECOMMENDATIONS.
3. PROPOSED LOCATION OF LIGHTING CONTROL TIME CLOCK.

GENERAL NOTES

1. ALL FIXTURES SHALL BE CIRCUITED TO PANEL PP-1A UNLESS OTHERWISE NOTED.
2. ALL EXIT AND EMERGENCY FIXTURES SHALL BE CIRCUITED TO THE LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING WITH (2)#12+(1)#12G IN 3/4" CONDUIT.
3. ALL FIXTURES SHALL BE TYPE A UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL COORDINATE MOUNTING HEIGHT AND LOCATION OF ALL EXTERIOR LIGHTING FIXTURES WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
5. PROVIDE AND INSTALL (4) TYPE 'M' FIXTURES IN ATTIC ABOVE FIRST FLOOR. PROVIDE AND INSTALL (1) 120V TOGGLE SWITCH WITH PILOT LIGHT FOR CONTROL NEAR ATTIC HATCH. PROVIDE AND INSTALL (1) CONVENIENCE GFCI TYPE RECEPTACLE IN ATTIC.

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PROJECT No. 2016C
 DATE: 08 AUGUST 2022
 REVISIONS:

DRAWN BY: MRS. CB, PK



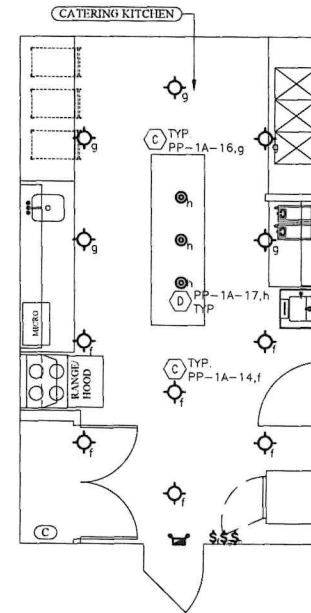
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Paul Rizzo, P.E.
 Professional Engineer
 State of New Jersey
 E1.1 PROJECT # 2016C_01
 DATE: 08/08/2022
 NEW JERSEY PROFESSIONAL ENGINEER LICENSE # 34528

RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

E1.1



01 ELECTRICAL KITCHEN LIGHTING PLAN - ALTERNATE
 E1.1A 1/4"=1'-0"

GENERAL NOTES

1. ALL FIXTURES SHALL BE CIRCUITED TO PANEL PP-1A UNLESS OTHERWISE NOTED.
2. ALL EXIT AND EMERGENCY FIXTURES SHALL BE CIRCUITED TO THE LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING WITH (2)#12+(1)12G IN 3/4" CONDUIT.
3. ALL FIXTURES SHALL BE TYPE A UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL COORDINATE MOUNTING HEIGHT AND LOCATION OF ALL EXTERIOR LIGHTING FIXTURES WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
5. PROVIDE AND INSTALL (4) TYPE 'M' FIXTURES IN ATTIC ABOVE FIRST FLOOR. PROVIDE AND INSTALL (1) 120V TOGGLE SWITCH WITH PILOT LIGHT FOR CONTROL NEAR ATTIC HATCH. PROVIDE AND INSTALL (1) CONVENIENCE GFCI TYPE RECEPTACLE IN ATTIC.



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Paul Spada, P.E.
 Professional Engineer
 State of New Jersey

DATE: 08/08/2022
 KSI PROJECT # 2016C_07

NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: 415966

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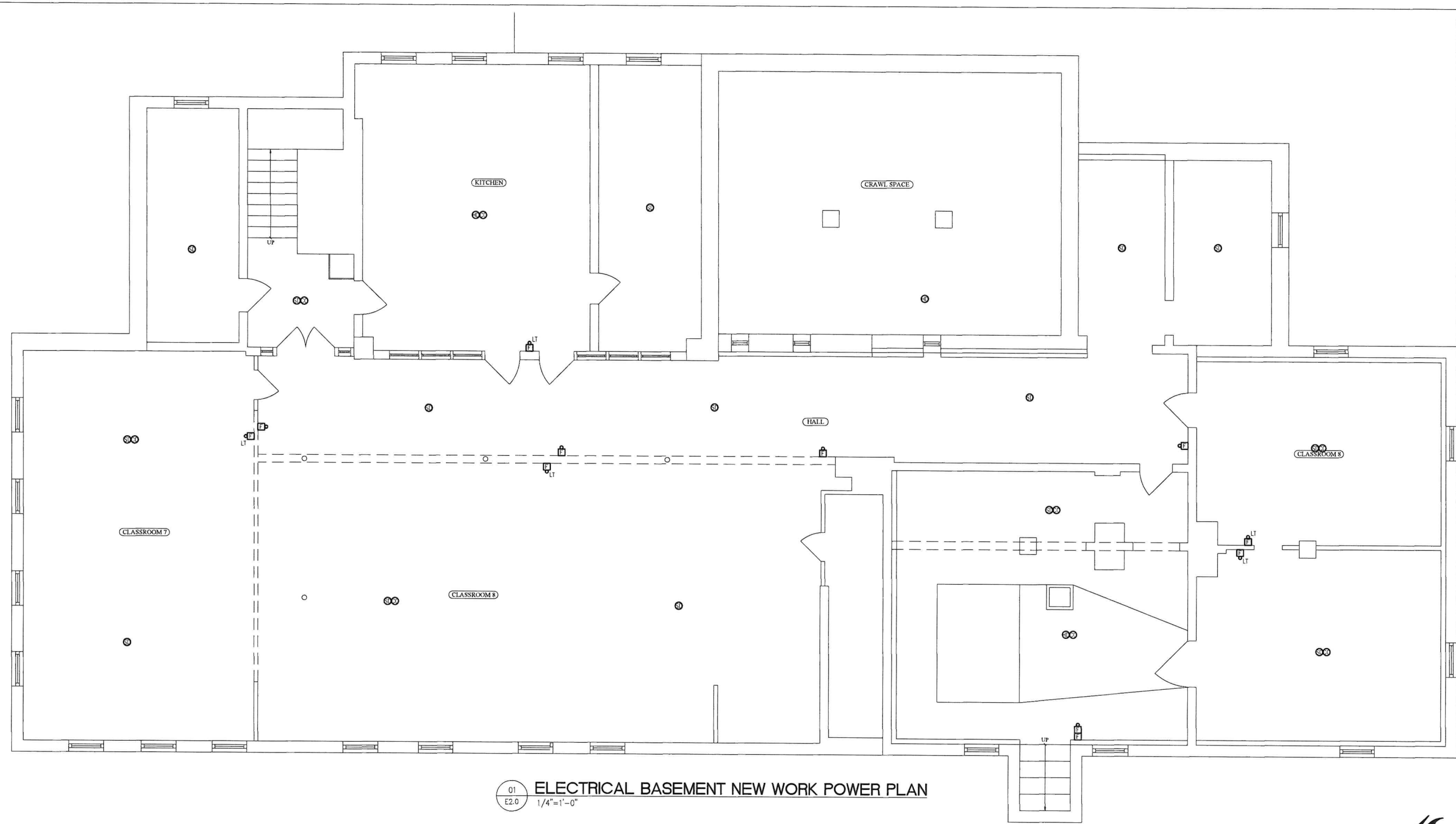
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PROJECT No.: 2016C
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RESTORATION AND REHABILITATION
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 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

E1.1A



01 ELECTRICAL BASEMENT NEW WORK POWER PLAN
 E2.0 1/4" = 1'-0"

KEY NOTES

GENERAL NOTES

1. ALL NEW ELECTRICAL DEVICES AND LIGHTING SHALL BE CIRCUITED TO PANEL PP-A UNLESS OTHERWISE NOTED.



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Paul Pappalardo, P.E.
 Professional Engineer
 State of New Jersey
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: 431980

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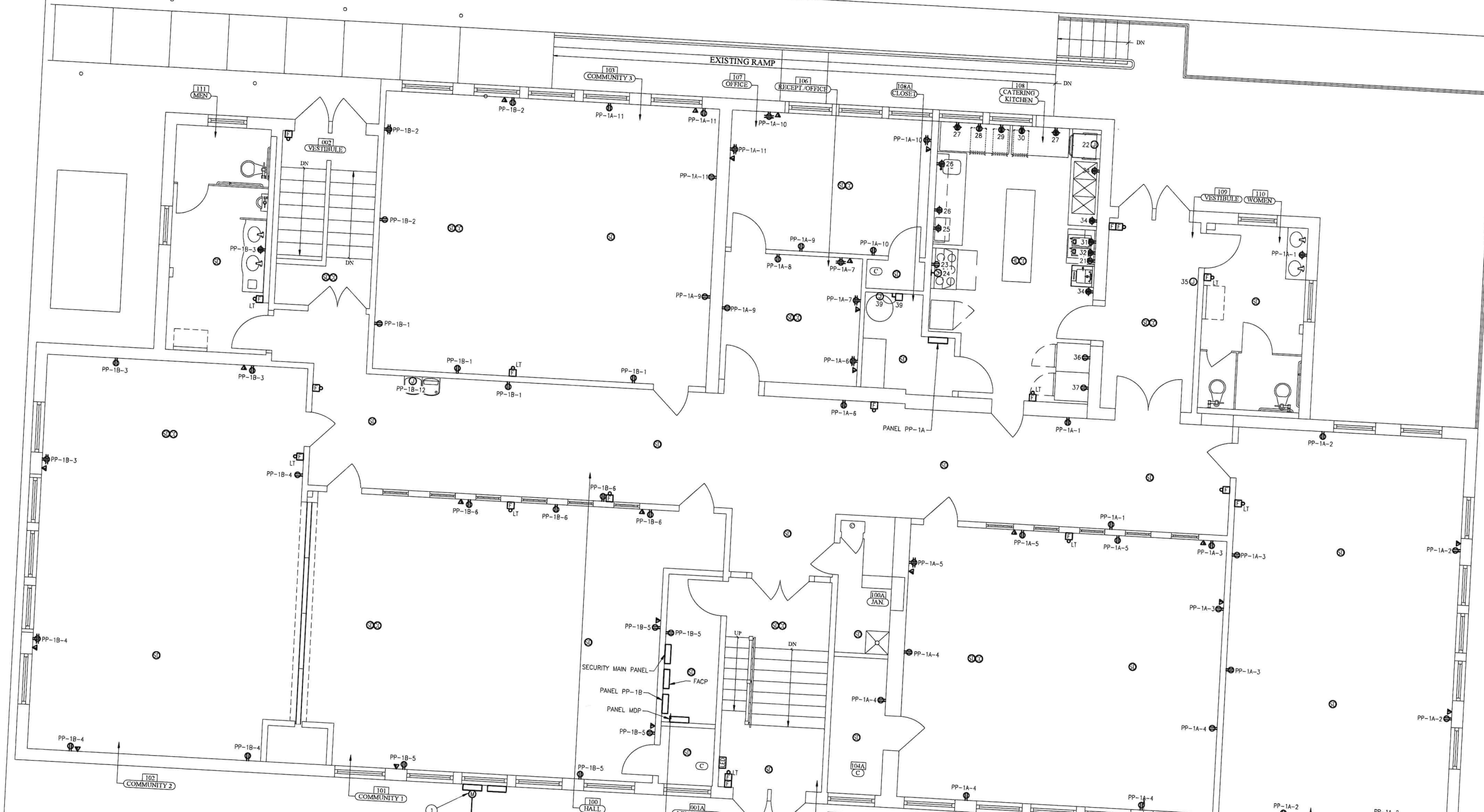
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PROJECT No.: 2016C
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RESTORATION AND REHABILITATION
WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

E2.0



ELECTRICAL FIRST FLOOR NEW WORK POWER PLAN
 1/4" = 1'-0"

KEY NOTES

1. PROPOSED LOCATION OF PANEL INCOMING ELECTRICAL SERVICE.
2. UNDERGROUND SERVICE CONDUCTORS AND CONDUIT. COORDINATE ROUTING WITH EXISTING FIELD CONDITIONS.

GENERAL NOTES

1. ALL NEW ELECTRICAL DEVICES AND SHALL BE CIRCUITED TO PANEL PP-1A UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL DEVICES WITH THE ARCHITECT PRIOR TO ROUGH-IN.

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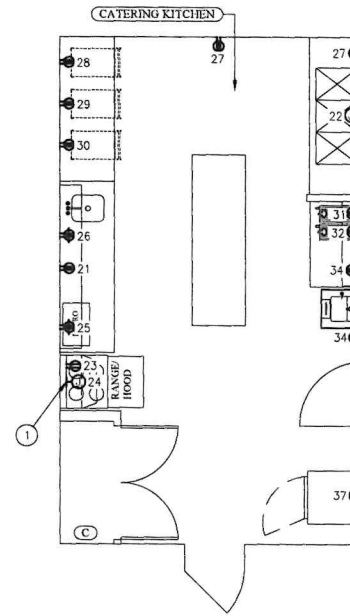
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Paul Rayne, P.E.
 Professional Engineer
 State of New Jersey
 MEP PROCESS SET
 08/08/2022
 DATE
 KSI PROJECT # 2016C.01

E2.1



KEY NOTES

1. JUNCTION BOX PROVIDED FOR KITCHEN RANGE HOOD.

GENERAL NOTES

1. ALL NEW ELECTRICAL DEVICES AND SHALL BE CIRCUITED TO PANEL PP-1A UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL DEVICES WITH THE ARCHITECT PRIOR TO ROUGH-IN.

01
E2.1A **ELECTRICAL KITCHEN POWER PLAN - ALTERNATE**
1/4"=1'-0"

CONNOLLY & HICKEY
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PROJECT No.: 2016C

DATE: 08 AUGUST 2022

REVISIONS:

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PROTECTED BY THE FULL-TEXT OF THE LICENSE OF
CONSULTING ENGINEER

Prof. Ryan, P.E.
Professional Engineer
State of New Jersey
MEP PROGRESS SET
08/08/2022
DATE
KSI PROJECT # 2022L_07
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE # 24328-0001

E2.1A

PANEL MDP		SCHEDULE		COMMENTS		NEW PANEL		400A MAIN CIRCUIT BREAKER						
PANEL LOCATION		BASEMENT		100A BUS SIZE		NUMBER OF POLES		42						
208/120		VOLTS, 3 PHASE, 4 WIRE		PANEL SHORT CIRCUIT RATING		42		KVA						
C.B. POLE NO.	C.B. TRIP AMP	C.B. LOAD VA	LOAD DESCRIPTION	CIR NO.	FDR DATA	PHASE A	PHASE B	PHASE C	FDR DATA	CIR NO.	LOAD DESCRIPTION	C.B. LOAD VA	C.B. TRIP AMP	C.B. POLE NO.
1	125	8,486	PANEL PP-1B	1	4	1	6	2	22784	18026	18026	18026	125	3
2	45	3,249	CU-1	3	8	10	1		5415	5415	5415	30	3	
3	45	3,249	CU-2	3	8	10	1		5054	5054	5054	25	3	
4	30	2,166	CU-5	3	10	10	3/4		4332	4332	4332	30	3	
5	25	1,805	CU-7	3	10	10	3/4		1805	1805	1805	30	3	
6	15	500	EF-3 & EF-4	3	12	12	3/4		300	300	300	30	3	
7	40	400	PANEL PP-B THROUGH CONTACTOR	3	8	16	1		400	400	400	40	3	

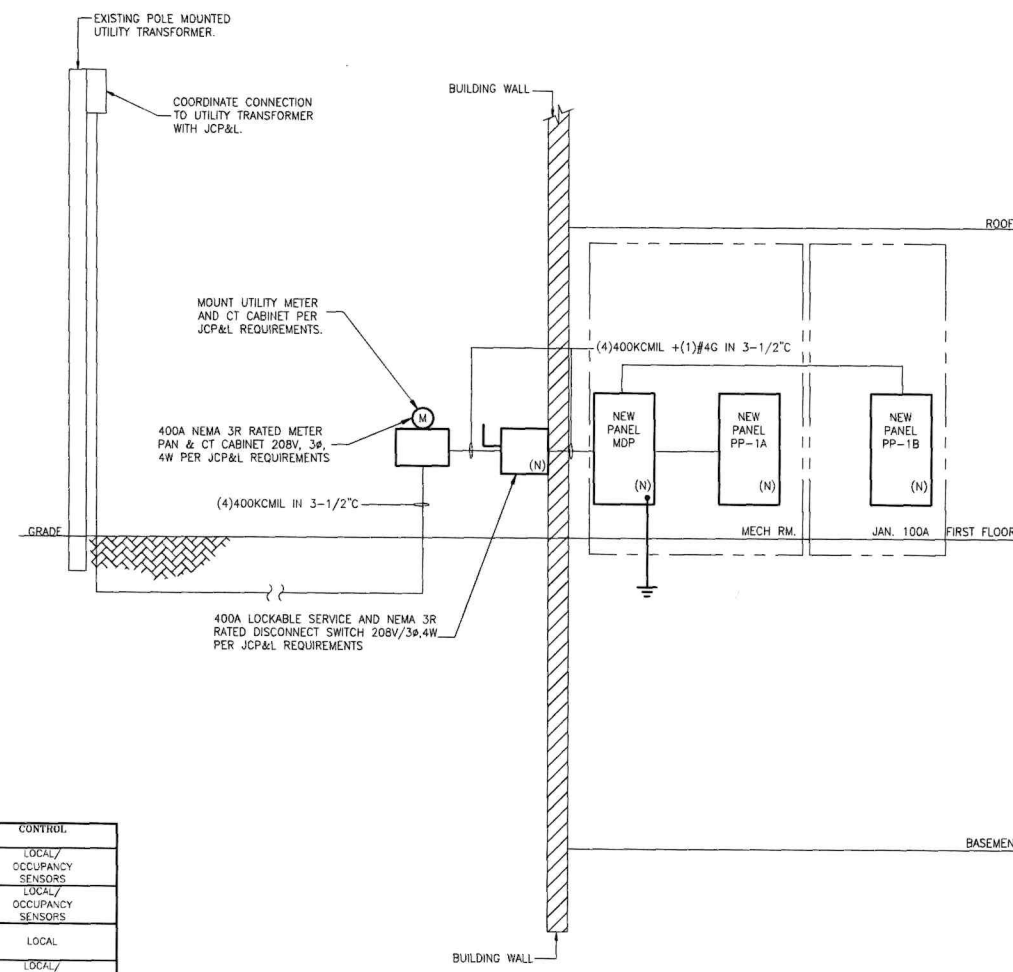
MOUNTING: SURFACE PH-LOAD 40090 35332 34568 VA
 FED FROM: ELECTRICAL UTILITY CONNECTED LOAD 110 KVA 308 AMP GROUNDING TERMINAL 100% NEUTRAL

PANEL PP-1B		SCHEDULE		COMMENTS		NEW PANEL		125A MAIN CIRCUIT BREAKER						
PANEL LOCATION		CLOSET		125A BUS SIZE		NUMBER OF POLES		42						
208/120		VOLTS, 3 PHASE, 4 WIRE		PANEL SHORT CIRCUIT RATING		42		KVA						
C.B. POLE NO.	C.B. TRIP AMP	C.B. LOAD VA	LOAD DESCRIPTION	CIR NO.	FDR DATA	PHASE A	PHASE B	PHASE C	FDR DATA	CIR NO.	LOAD DESCRIPTION	C.B. LOAD VA	C.B. TRIP AMP	C.B. POLE NO.
1	20	540	COMMUNITY RECS 2	1	2	12	12	3/4	1260	1260	1260	20	1	
2	20	720	RECS GR. AND COMM. RECS	2	12	12	3/4		1440	1440	1440	20	1	
3	20	720	COMMUNITY RECS 4	3	2	12	12	3/4		1440	1440	20	1	
4	20	600	HALL LIGHTS	4	2	12	12	3/4	1200	1200	1200	20	1	
5	20	600	COMMUNITY LIGHTS 2	5	2	12	12	3/4		1100	930	20	1	
6	20	330	BASEMENT KITCH LIGHTS	6	2	12	12	3/4	400	400	400	20	1	
7	20	200	UH-1 THROUGH UH-3	7	2	12	12	3/4		892	892	20	1	
8	20	200	UH-7 THROUGH UH-10	8	2	12	12	3/4		892	892	20	1	
9	15	1,143	AHU-1	9	2	12	12	3/4	1835	1835	1835	15	3	
10	15	1,143	AHU-2	10	2	12	12	3/4	1835	1835	1835	15	3	
11	15	692	AHU-3	11	2	12	12	3/4	1384	1384	1384	15	3	
12	15	692	AHU-4	12	2	12	12	3/4	892	892	892	15	3	
13	15	100	MOTOR OPERATED DAMPER	13	2	12	12	3/4		100	100	15	3	

MOUNTING: SURFACE PH-LOAD 8606 8486 8222 VA
 FED FROM: PANEL MDP CONNECTED LOAD 25 KVA 70 AMP GROUNDING TERMINAL 100% NEUTRAL

PANEL PP-1A		SCHEDULE		COMMENTS		NEW PANEL		125A MAIN CIRCUIT BREAKER						
PANEL LOCATION		JANITOR		125A BUS SIZE		NUMBER OF POLES		42						
208/120		VOLTS, 3 PHASE, 4 WIRE		PANEL SHORT CIRCUIT RATING		42		KVA						
C.B. POLE NO.	C.B. TRIP AMP	C.B. LOAD VA	LOAD DESCRIPTION	CIR NO.	FDR DATA	PHASE A	PHASE B	PHASE C	FDR DATA	CIR NO.	LOAD DESCRIPTION	C.B. LOAD VA	C.B. TRIP AMP	C.B. POLE NO.
1	20	360	WOMEN'S & HALL RECS	1	2	12	12	3/4	1260	1260	1260	20	1	
2	20	720	COMMUNITY RECS	2	2	12	12	3/4	1440	1440	1440	20	1	
3	20	720	COMMUNITY RECS 2	3	2	12	12	3/4		1260	1260	20	1	
4	20	840	RECEIPT OFFICE RECS	4	2	12	12	3/4	800	800	800	20	1	
5	20	720	RECEIPT OFFICE RECS 2	5	2	12	12	3/4	1620	1620	1620	20	1	
6	20	900	OFFICE & COMMUNITY RECS	6	2	12	12	3/4	1500	1500	1500	20	1	
7	20	600	COMMUNITY LIGHTS	7	2	12	12	3/4	1200	1200	1200	20	1	
8	20	600	HALL LIGHTS	8	2	12	12	3/4	1200	1200	1200	20	1	
9	20	600	WOMEN'S BATH & KITCH LIGHTS	9	2	12	12	3/4	400	400	400	20	1	
10	20	200	TOILET LIGHTS	10	2	12	12	3/4	2400	2400	2400	20	1	
11	20	600	ICE MACHINE	11	2	12	12	3/4	700	700	700	20	1	
12	20	480	RANGE	12	2	12	12	3/4	28	28	28	20	1	
13	20	1,000	MICROWAVE	13	2	12	12	3/4	6450	6450	6450	20	1	
14	20	840	KITCHEN GENERAL RECS	14	2	12	12	3/4	1540	1540	1540	20	1	
15	20	1,000	WARMING CABINET #1	15	2	12	12	3/4	2000	2000	2000	20	1	
16	20	1,200	COFFEE MAKER	16	2	12	12	3/4	7840	7840	7840	20	1	
17	20	400	FACP	17	2	12	12	3/4	940	940	940	20	1	
18	20	480	WATER FILL STATION	18	2	12	12	3/4	1880	1880	1880	20	1	
19	20	600	FRIEZER	19	2	12	12	3/4	1328	1328	1328	20	1	
20	20	400	WATER HEATER WH-1	20	2	12	12	3/4	400	400	400	20	1	
21	20	300	EXTERIOR LIGHTS	21	2	12	12	3/4	40	40	40	20	1	

MOUNTING: SURFACE PH-LOAD 14178 9540 8640 VA
 FED FROM: PANEL MDP CONNECTED LOAD 32 KVA 90 AMP GROUNDING TERMINAL 100% NEUTRAL



03 ELECTRICAL RISER DIAGRAM
 E3.1 NO SCALE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMP		MOUNTING	BALLAST/DRIVER	CONTROL
				VOLT	CATALOG #			
A	PENDANT MOUNTED LIGHTING FIXTURE WITH 16" GLASS SHADE AND INCANDESCENT EQUIVALENT LED GLASS	REJUVENATION	EASTMORELAND 6" FITTER PENDANT WITH 16" OPAL CLASSIC SCHOOLHOUSE SHADE	120V	-	PENDANT	E26 LED BOW EQUIVALENT DIMMABLE 3500K	LOCAL/OCCUPANCY SENSORS
B	PENDANT MOUNTED LIGHTING FIXTURE WITH 18" GLASS SHADE AND INCANDESCENT EQUIVALENT LED BULB	REJUVENATION	ROSE CITY 6" FITTER CHAIN PENDANT WITH 18" OPAL CLASSIC SCHOOLHOUSE SHADE	120V	-	PENDANT	E26 LED BOW EQUIVALENT DIMMABLE 3500K	LOCAL/OCCUPANCY SENSORS
C	6" RECESSED DOWNLIGHT	LITHONIA	WF6-LED-27X30K35K-90CRI-MW	120V	-	RECESSED	ELECTRONIC	LOCAL
D	PENDANT MOUNTED LIGHTING FIXTURE WITH 6" GLASS SHADE	REJUVENATION	EASTMORELAND 2 - 1/4" PENDANT WITH 6" OPAL CLASSIC BELL SHADE	120V	-	PENDANT	ELECTRONIC	LOCAL/OCCUPANCY SENSORS
E	EXISTING LIGHTING FIXTURE TO BE RE-FURNISHED	N/A	N/A	120V	-	PENDANT	ELECTRONIC	LOCAL/OCCUPANCY SENSORS
F	27" WIDE LED VANITY LIGHT	KICHLER	INDECO 2 LIGHT 27" WIDE INTEGRATED LED BATH BAR	120V	-	WALL	ELECTRONIC	LOCAL/OCCUPANCY SENSORS
G	1'x2' LED GASKETED LIGHTING FIXTURE WITH ACRYLIC LENS	LITHONIA	FEM124-3,000LM-1PAFL-MD-MVOLT-40K-80CRI	120V	-	SURFACE	ELECTRONIC	LOCAL
X	LED EXIT LIGHT WITH DUAL EMERGENCY HEADS AND INTEGRAL BATTERY COORDINATE COLOR AND LETTER COLOR WITH ARCHITECT	LITHONIA	LH0M-LED-X-X	120V	-	AS SHOWN ON DRAWINGS	-	LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING
X1	INTERIOR EMERGENCY EGRESS FIXTURE WITH 2 BOARDS AND INTEGRAL BATTERY	LITHONIA	ELM2-LED-X	120V	-	WALL	-	LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING
X2	EXTERIOR EMERGENCY EGRESS FIXTURE WITH 2 BOARDS AND INTEGRAL BATTERY	LITHONIA	AF0-X	120V	-	WALL	-	LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING

02 ELECTRICAL LIGHTING FIXTURE SCHEDULE
 E3.1 NTS

- LIGHTING FIXTURE SCHEDULE:
- ALL FLUORESCENT FIXTURES SHALL BE EQUIPPED WITH ENERGY SAVING LAMPS AND ELECTRONIC BALLASTS.
 - ALL LAMPS BASED ON PHILIPS CATALOG NUMBERS, WITH OSRAM AND SYLVANIA AS APPROVED EQUALS.
 - ALL NORMAL BALLASTS SHALL BE EITHER MAGNETIC OR ADVANCED. U.O.N.
 - ELECTRONIC BALLAST SHALL HAVE A TOTAL HARMONIC DISTORTION OF LESS THAN 10 PERCENT.
 - EMERGENCY FIXTURES SHALL BE CAPABLE OF ILLUMINATION OF 2 LAMPS FOR 90 MINUTES AND SHALL BE WIRED AHEAD OF LOCAL SWITCHING(BODINE BALLASTS WHERE APPLICABLE).
 - PROVIDE ALL NECESSARY MOUNTING HARDWARE.
 - PROVIDE UNIVERSAL MOUNT CANOPY WITH CEILING MOUNTED EXIT SIGNS.
 - PROVIDE ACCESSORIES FOR SEISMIC CONSIDERATIONS PER LOCAL CODES.
 - PROVIDE EMERGENCY BALLAST OPTION FOR FIXTURES AS INDICATED IN DRAWINGS.

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PROJECT No. 2016C
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DRAWN BY: JARRIS, CD, PK

RESTORATION AND REHABILITATION
 WILLIAM R. ALLEN SCHOOL
 BURLINGTON, BURLINGTON COUNTY, NEW JERSEY

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 Professional Engineer
 State of New Jersey
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 08/08/2022
 DATE
 E31 PROJECT # 2016C_07
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE N21518K-451840